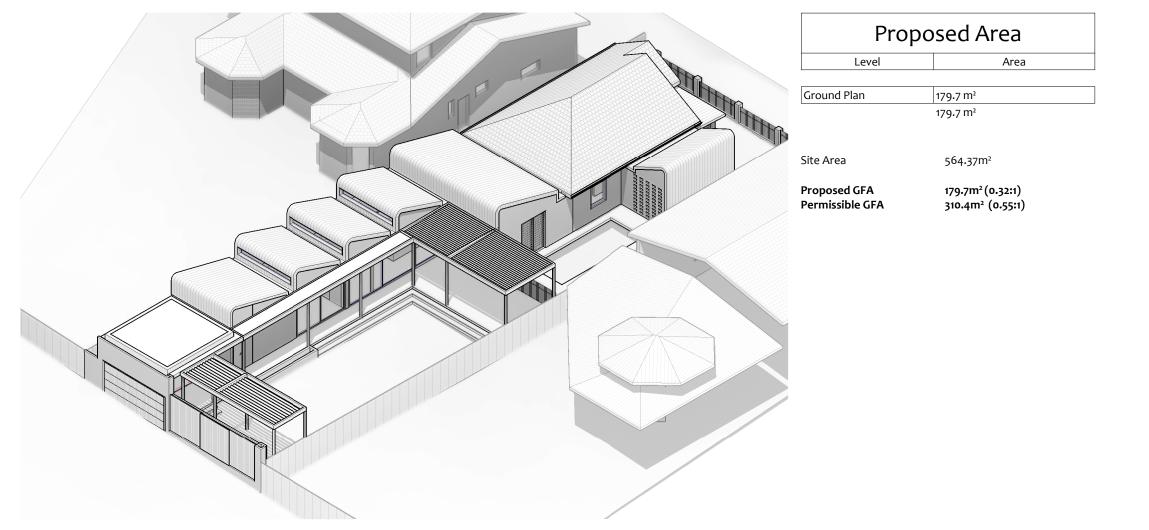
DEVELOPMENT APPLICATION

3 AYR STREET, ASHBURY



Legend

| BWK | - Brickwork |
|-----|-------------------|
| CON | - Concrete |
| DP | - Downpipe |
| GL | - Glass |
| GU | - Gutter |
| MC | - Metal Cladding |
| MR | - Metal Roofing |
| PT | - Painted Finish |
| тмв | - Timber Finish |
| SC | - Operable Screen |

| specification and BASIX certificate where applicable. Comply with relevant | Check all dimensions, site conditions and RL's against survey prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the | Revision Date Description A 07.05,2022 For Information B 14.06.2022 For Information | Architect | ^{Client.} Peter Giurissevich | Project Name. Ashbury House | Project No. 2128 | Status Development Application |
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| Comply with relevant Australian Standards for materials and construction practice. All drawn information should be sufficient for a reasonably competent and experienced builder to understand the design intent. Should this be not the case, the Client should be informed immediately for clarification. Some elements shown in this drawing may be subject to further advice from consultants/sub-consultants other than the architect. It is the responsibility of the consultants/sub- | paint, services or capping that and to the paint durin of singly drawings and to the fabrication of any components. Do not scale drawings - Any discrepancies discovered shall immediately be referred to the Client for clarification. Copyright remains with the JKMarchitects. The Client is licensed to use the documents and drawings to produce the project and site for which they were intended, provided that the JKMarchitects are completed the extent of works for which they were commissioned, and all fees due to the JKMarchitects has been paid. | C 05.07.2022 For Information D 15.07.2022 For Information E 16.11.2022 Development Application | JKMarchitects Pty Ltd Suite 6:r3 / 55 Miller Street, Pyrmont, NSW 2009, ABN 98 651 373 483 Nominated Architect Tai Kei Keith Mi | 1 NSW 9247 | Project Address 3 Ayr Street, Ashbury NSW 2193 | Sheet Name Cover Sheet Drawing no. DA00.00 | Scale @ A3 Revision E |

| Sheet List | | | |
|--------------|----------------------------|------------------|--|
| Sheet Number | Sheet Name | Current Revision | |
| | | | |
| DA00.00 | Cover Sheet | E | |
| DA00.10 | BASIX Compliance Table | C | |
| DA00.20 | Specifications | C | |
| DA00.30 | Site Analysis | С | |
| DA00.40 | Site Plan | D | |
| DA01.00 | Existing Ground Floor Plan | D | |
| DA01.10 | Existing Roof Plan | D | |
| DA02.00 | Proposed Ground Floor Plan | Н | |
| DA02.20 | Proposed Roof Plan | E | |
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| DA03.10 | Proposed Elevations | F | |
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| DA05.21 | Shadow Diagrams | E | |
| DA05.30 | GFA Area Plan | С | |
| DA05.35 | Area Plans | В | |
| DA05.40 | Materials and Finishes | A | |

BASIX COMPLIANCE TABLE

POOL AND SPA

Rainwater Tank:

Rainwater tank of at least 1109 litres on the site must be installed. The rainwater tank must meet, and be installed in accordance with the requirements of all applicable regulatory authorities.

The swimming pool must be outdoors and must not have a capacity greater than 31 kilolitres.

CONSTRUCTION

Insulation Requirements:

New or altered construction (floors(s), walls and ceiling/roofs) to be constructed in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction | Additional insulation required (R-value) | Other specifications |
|--|--|-----------------------------------|
| concrete slab on ground floor. | nil | |
| external wall: cavity brick | nil | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.76 (up), roof: foil/sarking | light (solar absorptance < 0.475) |

Glazing Requirements

Windows and Glazed Doors

Windows, glazed doors and shading devices to be installed in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projects described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500mm above the head of the window or glazed door and no more than 2400mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below:

| Window / door | Orientation | Area of | Oversha | adowing | Shading device | Frame and glass ty |
|---------------|-------------|--------------------------------|---------------|-----------------|---|--|
| no. | | glass inc. frame (m2) | Height (m) | Distance (m) | | |
| W.01 | SE | 2.5 | 0 | 0 | projection/height above sill ratio >=0.36 | timber or uPVC, sin 5.71, SHGC: 0.66) |
| W.02 | SE | 3.3 | 0 | 0 | projection/height above sill ratio | timber or uPVC, sin |
| W.03a | SW | 2.2 | 0 | 0 | none | timber or uPVC, sin 5.71, SHGC: 0.66) |
| W.04 | NW | 3.6 | 0 | 0 | external louvre/blind (fixed) | standard aluminiun U-value: 7.63, SHC |
| W.06 | SW | 4.4 | 0 | 0 | none | standard aluminiun U-value: 7.63, SHC |
| W.07 | SW | 19 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminiun U-value: 7.63, SHC |
| W.08 | SW | 9.3 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminiun U-value: 7.63, SHC |
| W.09 | NE | 0.5 | 0 | 0 | none | standard aluminiun U-value: 7.63, SHC |
| W.10 | NE | 3.7 | 0 | 0 | external louvre/blind (adjustable) | standard aluminiur U-value: 7.63, SH |
| W.11 | NE | 3.8 | 0 | 0 | external louvre/blind (adjustable) | standard aluminiur U-value: 7.63, SH0 |
| W.12 | NE | 2.3 | 0 | 0 | external louvre/blind (adjustable) | standard aluminiur U-value: 7.63, SH |
| W.13 | NE | 1.2 | 0 | 0 | external louvre/blind (adjustable) | standard aluminiur U-value: 7.63, SH0 |
| W.14 | NE | 1.5 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminiun U-value: 7.63, SH0 |
| W.15 | NW | 1.7 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminiur U-value: 7.63, SH0 |
| W.17 | NW | 1.5 | 0 | 0 | projection/height above sill ratio | standard aluminiur |
| W.18 | NW | 1.5 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminiur (U-value: 5.7, SHG |
| W.19 | NW | 1.5 | 0 | 0 | projection/height above sill ratio >=0.36 | standard aluminiur (U-value: 5.7, SHG |
| W.03 | SE | 2.5 | 0 | 0 | none | standard aluminiur U-value: 7.63, SH0 |
| W.05 | SW | 1.8 | 0 | 0 | none | standard aluminiur U-value: 7.63, SH0 |
| W.07a | NW | 8.5 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | standard aluminiur U-value: 7.63, SH0 |

| | | | | | | | OT FOR CONSTRUCTION |
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| specification and BASIX certificate where applicable. Comply with relevant commencement of any work authorities requirement. Comply with Builden Gode of Australia requirements. Comply with relevant Australian Standards for materials and construction practice. All drawn information should be sufficient for a reasonably competent and experienced builder to understand the design intert. Should be informed immediately the Client should be informed immediately for clarification. Some elements show in this drawing may be subject to further advice from consultant sjub-consultant in this drawing and be formed immediately for clarification. Some elements show in this drawing may be subject to further advice from consultant sjub-consultant | nditions and RL's against survey prior to , the purchase or ordering of any materials, fittigs, and the preparation of shop drawings and or the ts. Do not scale drawings - Any discrepancies be referred to the Client for drawinflation. KMarchitects. The Client is licensed to use the produce the project and site for which they were IKMarchitects has completed the extent of works for led, and all fees due to the JKMarchitects has been | Revision Date Description A 07.05,2022 For Information B 05.07,2022 For Information C 16.11.2022 Development Application | Architect JkmchitectsPiptd Suite 6:13/55 Miller Street, Pyrmont, NSV 3209. ABN 98 651373 483 Nominated Architect Tai Kei Keith Ma | Client. Peter Giurissevich | Project Name. Ashbury House Project Address 3 Ayr Street, Ashbury NSW 2193 | Project No. 2128 Sheet Name BASIX Compliance Table Drawing no. DA00.10 | Status Development Application Scale @ A3 Revisio C |

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GENERAL SPECIFICATION NOTES

All works are to be carried out in accordance with the relevant requirements of the National Construction Code, the Home Building Act, relevant Australian tandards and any other legislations relevant to the works.

DEMOLITION

Demolish all structures as indicated on the drawings, and remove all debris from site. Demolition works to comply with applicable parts of the following Australian Standards: AS2436 'Noise Control' and AS2601 'Demolition of Structures'.

SITE PREPARATION AND EXCAVATION

To Structural Engineer and Geotechnical Engineer's specifications. Install flashings, damp-proof courses and membranes in accordance with AS/NZS 2904 'Damp Proof Courses and Flashings', AS4654 'Waterproofing Membrane Systems', AS2870 'Residential Footings and Slabs', AS3600 'Concrete Structures'.

FIRE RATING

Smoke Alarms must be supplied installed in accordance with the AS3786 as per the DTS requirements of the National Construction Code. Exterior walls, doors and windows to comply with the National Construction Code.

STRUCTURE / FINISH

BRICKWORK / MASONRY

All Masonry work to comply with relevant australian standards including AS3700, AS2699, and AS/NZS 2904. Bricks selection to Structural Engineer's specification. Build facebricks as per setout drawings.

WEEPHOLE

Provide weepholes to external leaves of cavity walls in the course immediately above flashings, and cavity fill, and at the bottoms of unfilled cavities. Open Perpends. Maximum Spacing 1200mm.

CONCRETE

All concrete to be poured and set to comply with relevant australian standards including AS3600. Footings and slabs to be poured in compliance with AS₂870.

BLOCKWORK

All Blockwork installed are to comply with AS/NZS 2904 and AS2975. Blockwork selection to Structural Engineer's specification. Mortar to comply with AS3700 and to Structural Engineers design and specification.

TIMBER

All TImber work to comply with AS1684 and AS1684.1

STEEL STRUCTURE / METALWORK

All steel structure and non-structural members are to comply with AS4100, AS3623 and AS/NZA4600 and to Structural Engineers design and specification.

METAL CLADDING / ROOF SHEETING

All walls and roofing cladding to comply with AS1562, AS4100, AS4600, AS1397 and manufacturers recommendations

CERAMIC TILE All Ceramic tilework are to comply with relevant Australian Standards including AS2358, AS3661 and AS 3740

PLASTERBOARD/FIBRE CEMENT PRODUCTS

All plasterboard installation to comply with relevant Australian Standards including AS2588, AS2589 and AS 3740

PAINTING

All painting to comply with relevant Australian Standards including AS 2311

DOORS AND WINDOWS

Comply with AS2048 'Code of Practice for Installation and Maintenance of Aluminium Window Frames' as well as AS2047 'Windows in Buildings'. Secure glass in accordance with glass manufacturer's recommendations and AS1288 'Glass in Buildings' and other relevant codes including AS1170 'SAA Loading Code'.

STAIRWAYS

All stairways require a handrail. All treads, nosing, internal and external to comply with slip-resistance classifications noted in AS 4586 – New pedestrian surface materials. Stairs serving habitable rooms, including external stairs must comply with NCA Clauses 3.9.1 and 3.9.2.

WATERPROOFING

Supply and install waterproof membranes to areas shown on the drawings plus preparatory and protective work and associated materials where required. Ensure that sheet membrane materials and their associated primers and adhesives are of the type and the condition approved by the material supplier. Ensure that the installed waterproofing systems comply with the NCA, noting particular attention to Part 3.8.1 'Wet Areas'. Also omply with AS/NZS 2904 'Damp-Proof Courses and Flashings', AS4858 'Wet Area Membranes' and AS4654 'Waterproofing Membrane Systems'.

MANAGEMENT

TERMITE PROTECTION Design, manufacture and install termite barriers in accordance with AS3660

TREE PROTECTION AND MANAGEMENT All site work and tree protection measures and management must be carried out in accordance with the Arborist's report and detail.

SERVICES

MECHANICAL

Internal Bathrooms or Laundries to be provided with a system of mechanical exhaust ventilation in accordance with AS1668 and NCA. Ensure all ductwork conforms to AS4254. Ducted air conditioners: To conform to AS/NZS 3823.1.2. and Non-ducted air conditioners to conform to AS/NZS 3823.1.1.

HYDRAULIC

Sewerage and drainage to Hydraulic Engineer's detail. Install all components to consent authority's approval and to applicable Australian Standards including AS2179 'Rainwater Goods and Accessories' and AS 3500 series. Gas appliances to AS 5263 Series.

ELECTRICAL

The work includes but is not limited to the design, supply and installation of electrical transmission and reticulation materials from the mains supply to parts of the building site and connection for: power, lighting, mechanical equipment. Comply with regulatory requirements relating to installation methods and systems. Ensure that installations are within the regulatory maximum loads and tolerances, and in compliance with AS1680

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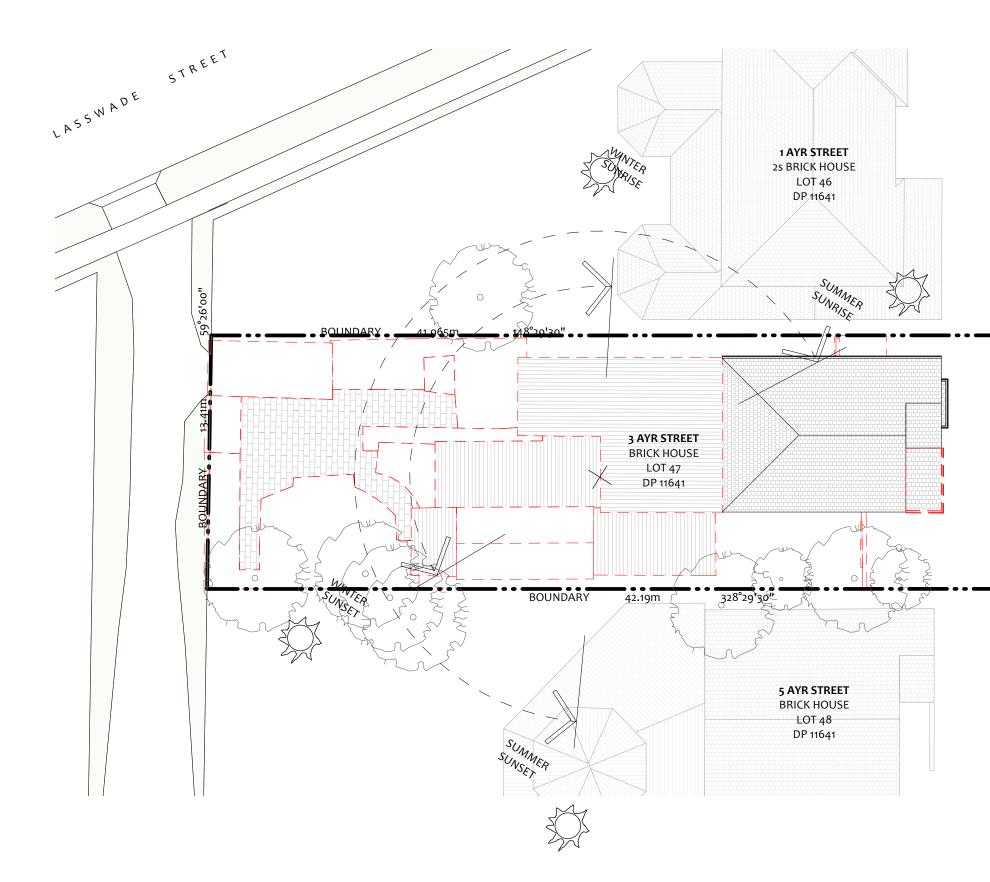
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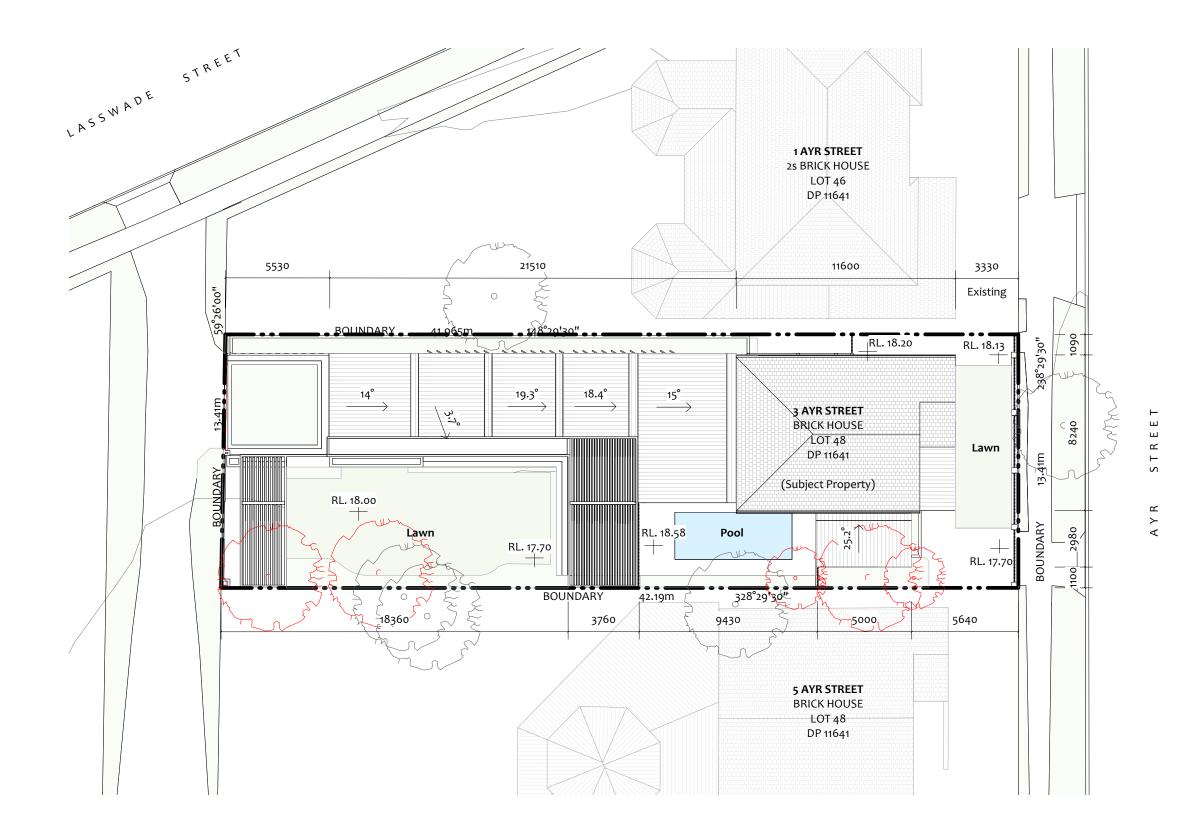


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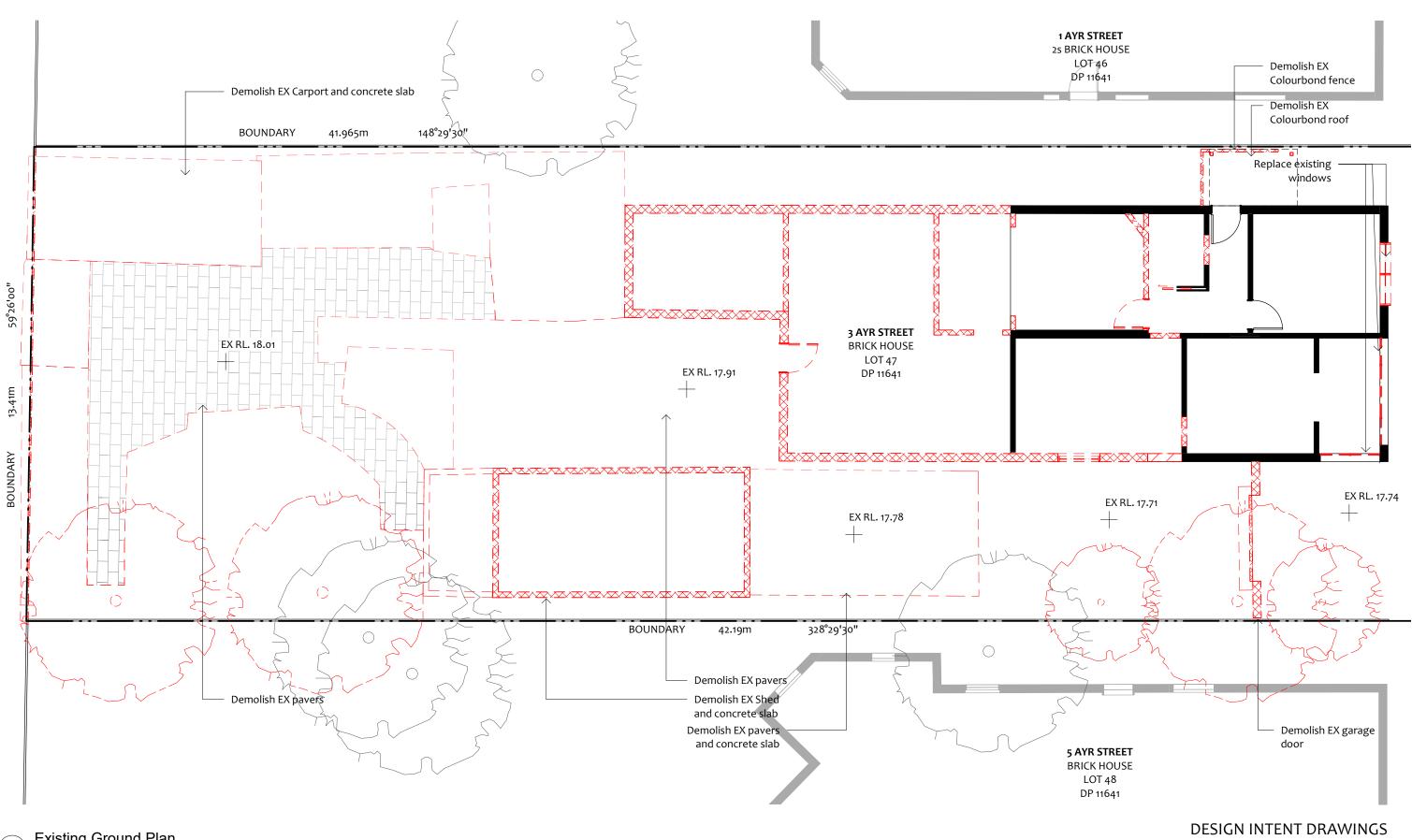


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Descript

Existing Ground Plan 1 1:100

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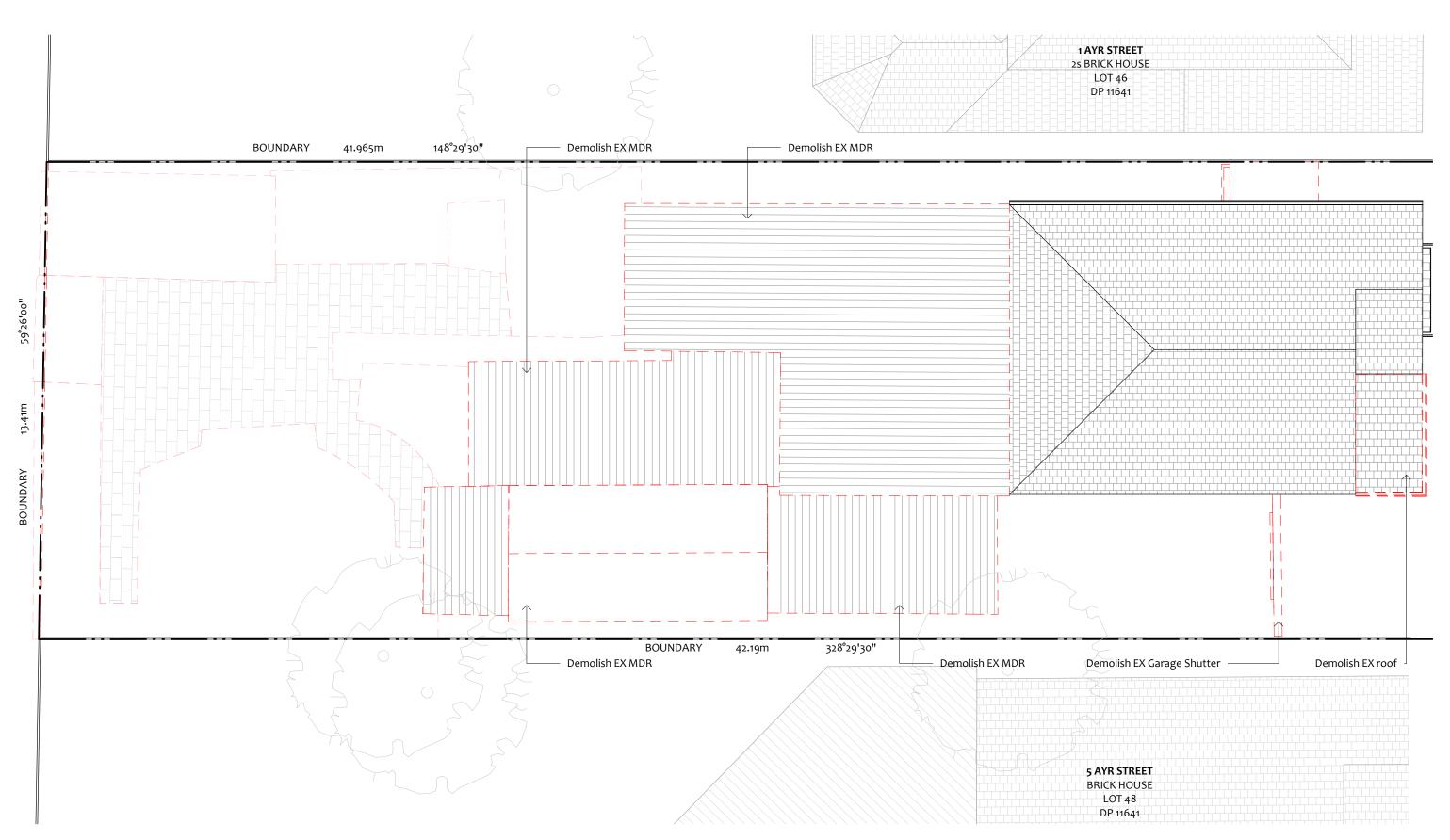
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| Architect | Client. | Project Name. |
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| jkm architects | Peter Giurissevich | Ashbury House |
| JKMarchitects Pty Ltd Suite 6:13 / 55 Miller Street, Pyrmont, NSW 2009. ABN 98 651 373 483 Nominated Architect Tai Kei Keith Ma | NSW 9247 | Project Address 3 Ayr Street, Ashbury NSW 2193 |

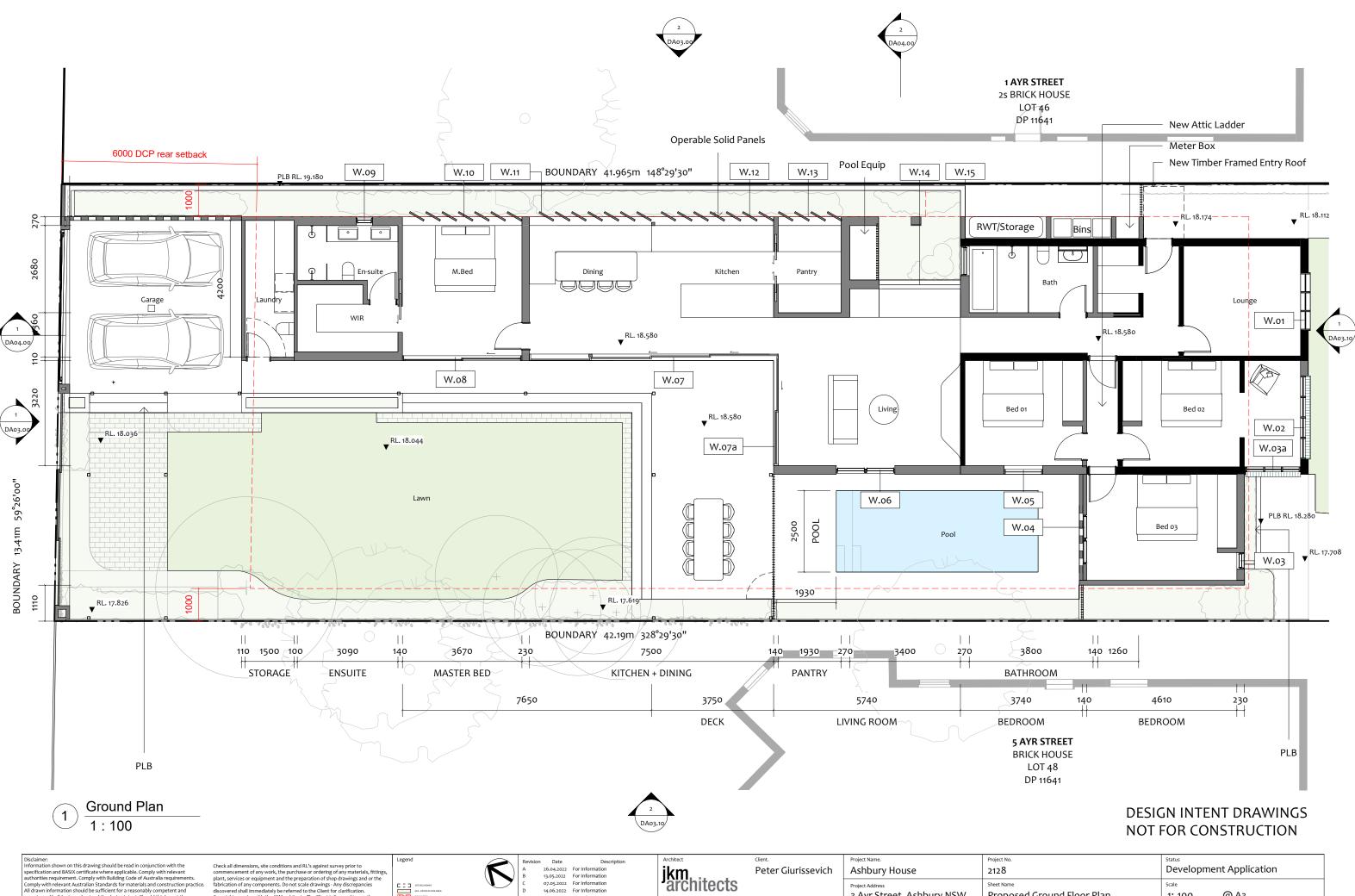
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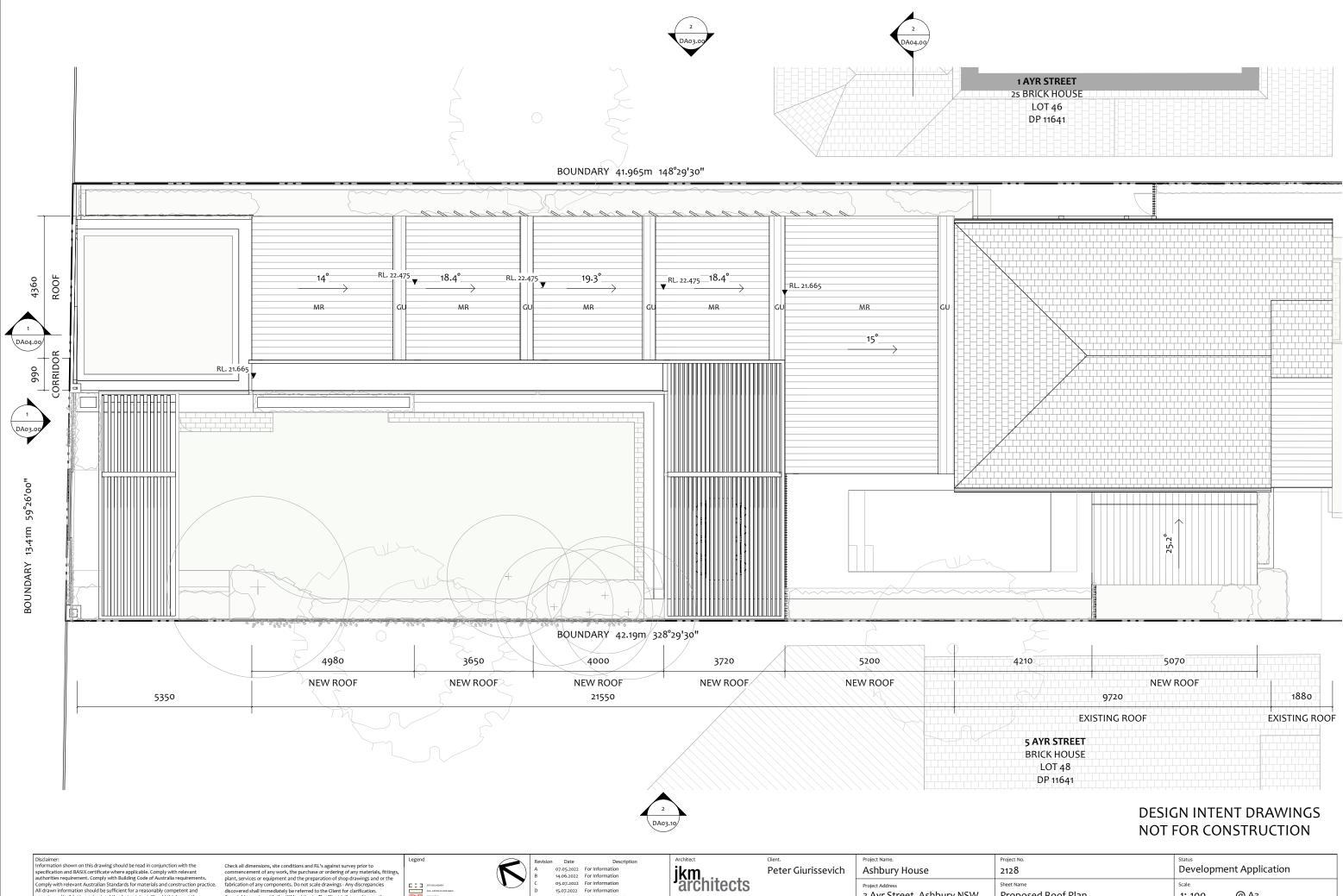
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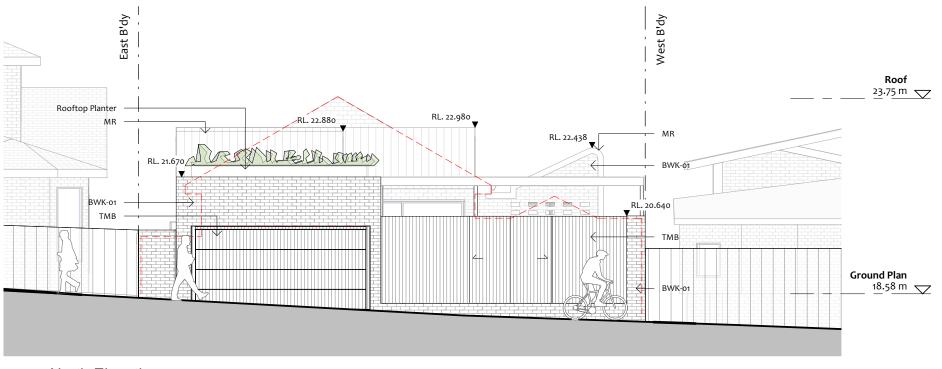
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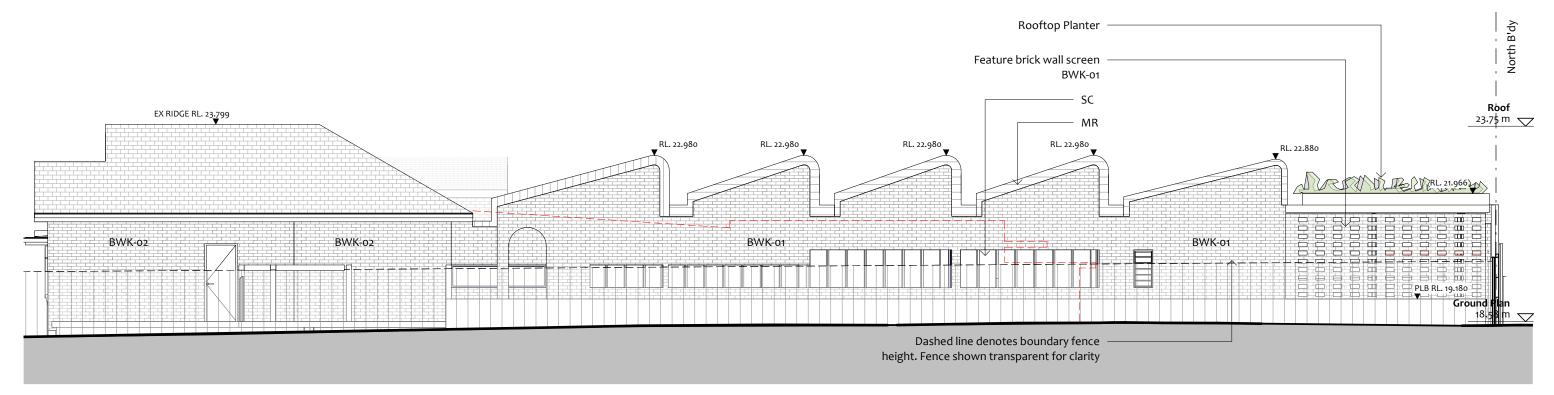
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| r Giurissevich | Project Name. | Project No. | Status |
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| | Ashbury House | 2128 | Development Application |
| | Project Address 3 Ayr Street, Ashbury NSW 2193 | Sheet Name Proposed Roof Plan Drawing no. DA02.20 | Scale 1: 100 @ A3 0 1000 2000 3000 Revision mm E |

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| DP 11641 | | | | |
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North Elevation 1 1:100



East Elevation (2) 1:100

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 14.06.2022
 For Information

 05.07.2022
 For Information
 15.07.2022
 For Information
 Revision 05.08.2022 For Information 16.11.2022 Development App

TMB TIMBER PICKET FENC MC METAL CLADDING LVR LOUVIRE DP DOWNPIPE

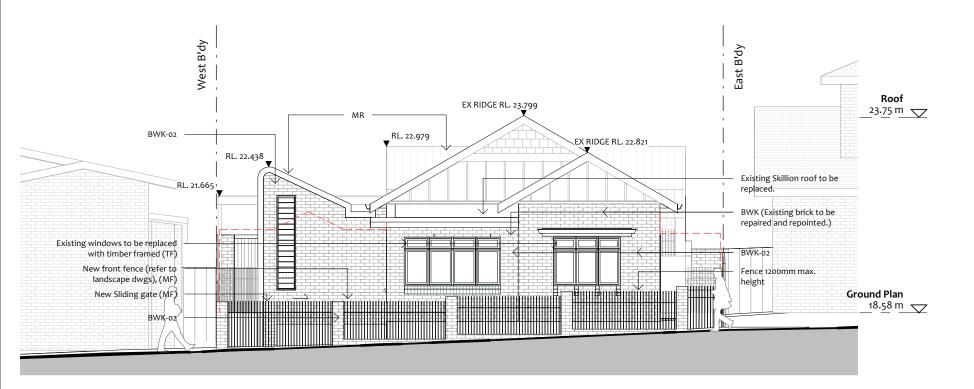
jkm architects JKMarchitects Pty Ltd Suite 6.13 / 55 Miller Street, Pyrmont, NSW 2009. ABN 98 651 373 483 Nominated Architect Tai Kei Keith Ma NSW

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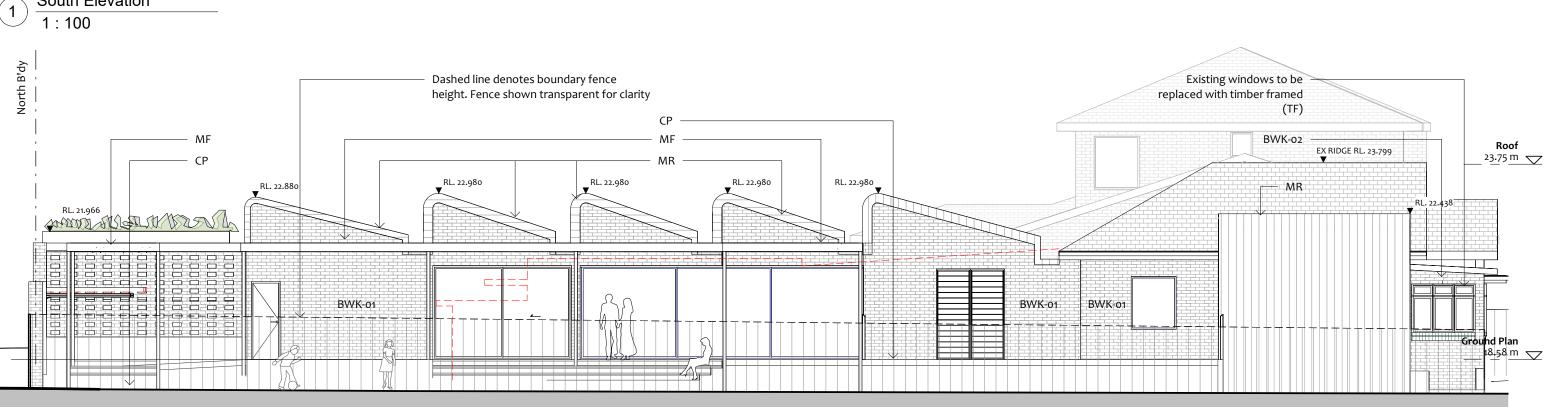
Descriptio

| Client. | Project Name. |
|--------------------|--|
| Peter Giurissevich | Ashbury House |
| | Project Address 3 Ayr Street, Ashbury NSW 2193 |
| NSW 9247 | |

| Project No. | Status | | | | | |
|------------------------|---------------------------|--|--|--|--|--|
| 2128 | Development Application | | | | | |
| Sheet Name | ^{Scale} | | | | | |
| Proposed Elevations | 1: 100 @ A3 | | | | | |
| Drawing no. DA03.00 | 0 1000 2000 3000 Revision | | | | | |







West Elevation

2 1:100

Disclaimer: Information shown on this drawing should be read in conjunction with the specification and BASIX certificate where applicable. Comply with relevant authorities requirement. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice. All drawn information should be sufficient for a reasonably competent and experienced builder to understand the design intent. Should this be not the case, the Client should be informed for admittantice form consultants/sub-consultants other than the architect. It is the responsibility of the consultants/sub-consultants/builder, and not the architect, to ensure that the design intent is met satisfactorily.

Check all dimensions, site conditions and RL's against survey prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components. Do not scale drawings - Any discrepancies discovered shall immediately be referred to the Client for clarification. Copyright remains with the JKMarchitects. The Client is licensed to use the documents and drawings to produce the project and site for which they were intended, provided that the JKMarchitects has completed the extent of works for which they were commissioned, and all fees due to the JKMarchitects has been paid.

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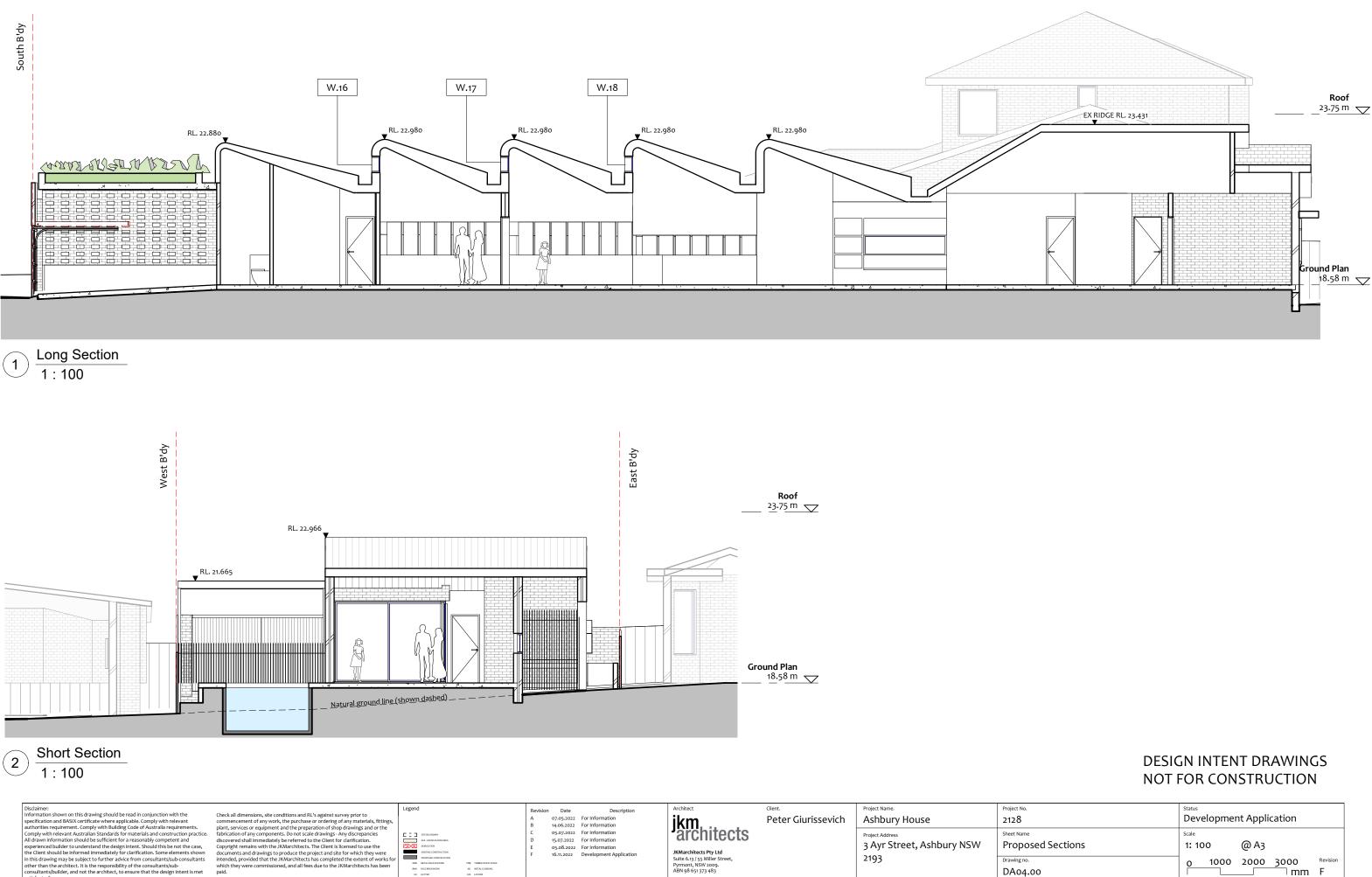
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Architect jkm architects JKMarchitects Pty Ltd Suite 6.13 / 55 Miller Street, Pyrmont, NSW 2009. ABN 98 651 373 483 Nominated Architect Tai Kei Keith Ma

| Client. | Project Name. | Project No. |
|--------------------|---------------------------|-------------|
| Peter Giurissevich | Ashbury House | 2128 |
| | Project Address | Sheet Name |
| | 3 Ayr Street, Ashbury NSW | Proposec |
| | 2193 | Drawing no. |
| | | DA03.10 |
| ISW 9247 | | |

| ject No. 128 | Status Development Application | | | | | | |
|--------------------|-----------------------------------|--|--|--|--|--|--|
| roposed Elevations | Scale 1: 100 @ A3 | | | | | | |
| wing no. A03.10 | 0 1000 2000 3000 Revision | | | | | | |



Nominated Architect Tai Kei Keith Ma NSW 9247

2193

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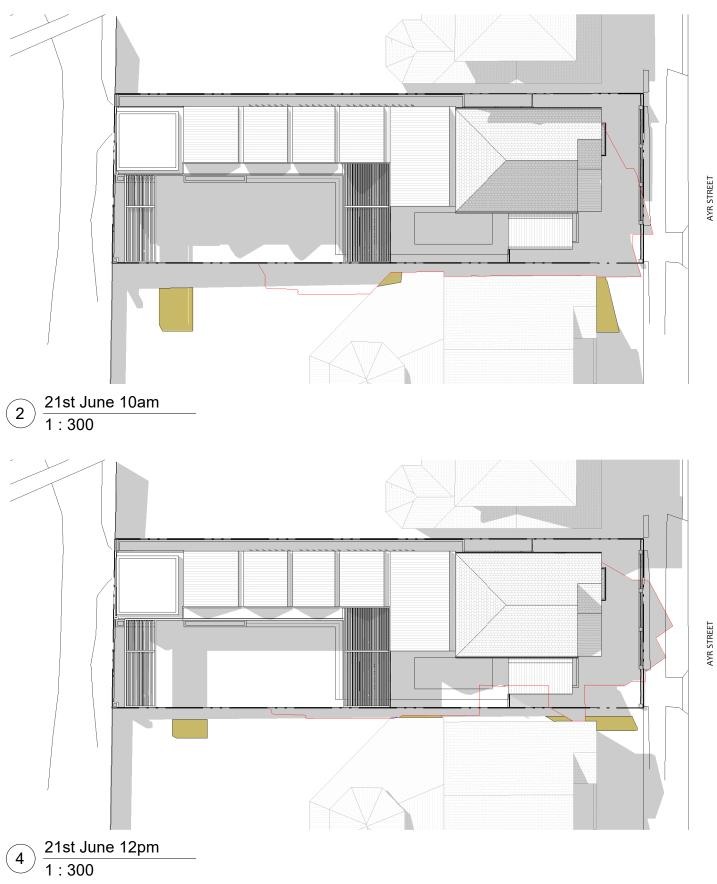
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BINK FACE BRICKINGRK GU GUTTER

| Project No. | Status | | | | |
|------------------------|---------------------------|--|--|--|--|
| 2128 | Development Application | | | | |
| Sheet Name | scale | | | | |
| Proposed Sections | 1: 100 @ A3 | | | | |
| Drawing no. DA04.00 | 0 1000 2000 3000 Revision | | | | |





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 Date
 Description

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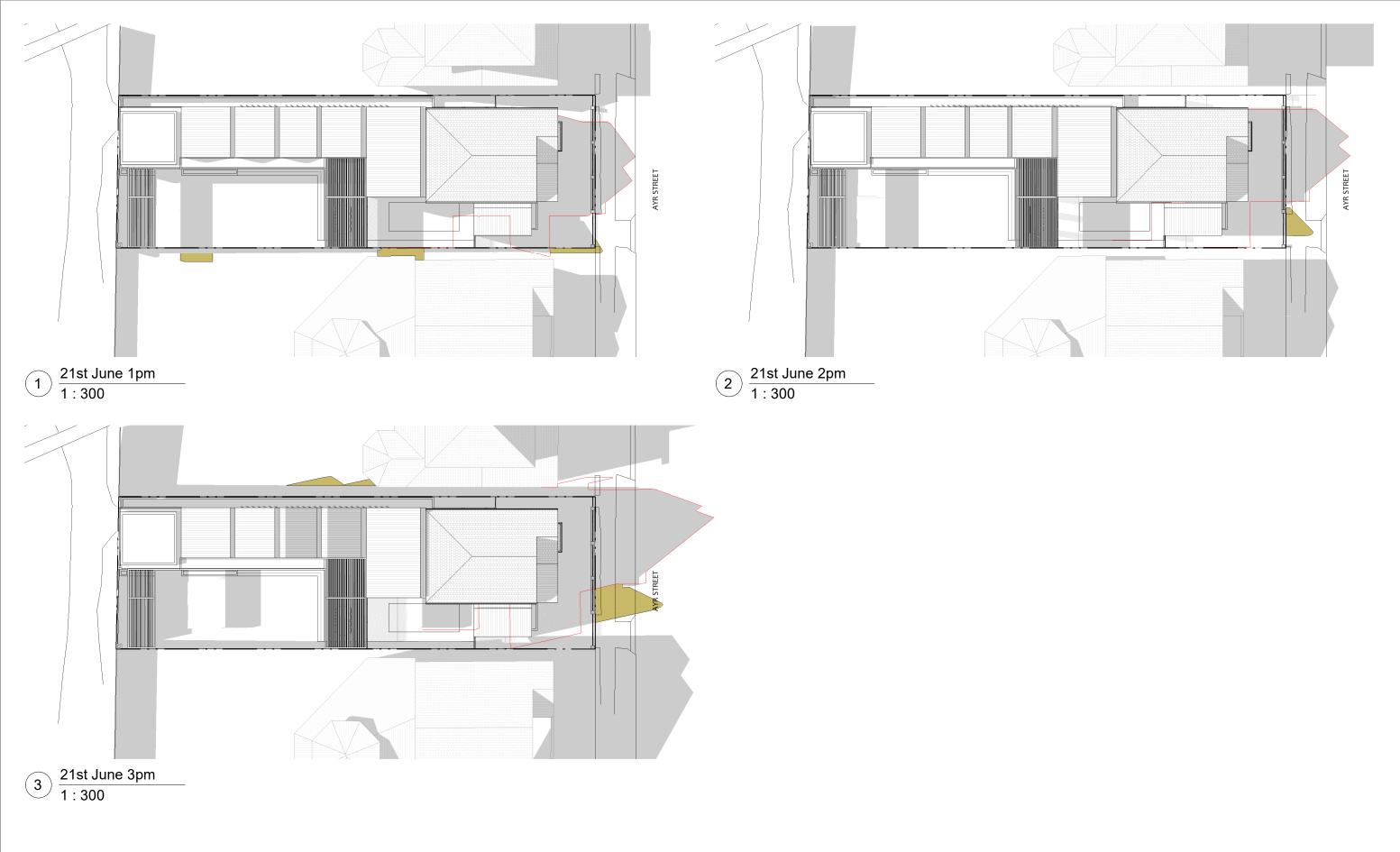
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 Project Name. Project No. Check all dimensions, site conditions and RL's against survey prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components. Do not scale drawings - Any discrepancies discovered shall immediately be referred to the Client for clarification. Copyright remains with the JKMarchitects. The Client is licensed to use the documents and drawings to produce the project and site for which they were intended, provided that the JKMarchitects has completed the extent of works for which they were commissioned, and all fees due to the JKMarchitects has been paid. Legend Architect Client. R jkm architects Peter Giurissevich Ashbury House 2128 E I I SITE BOUNDARY EXISTING SHARE Sheet Name Project Address 3 Ayr Street, Ashbury NSW Shadow JKMarchitects Pty Ltd Suite 6.13 / 55 Miller Street, Pyrmont, NSW 2009. ABN 98 651 373 483 2193 Drawing no. MDR METALDECK ROORING BWK BRICKWORK (BAGGED) GU GUTTER TD TIMBER DECK THE TIMBER PICKET FENC MC METAL CLADDING LVR LOUVRE DP DOWNPIPE DA05.20 isfactorily Nominated Architect Tai Kei Keith Ma NSW 9247

| | Status Development Application | | | | | | | |
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| v Diagrams | ^{Scale} 1: 300 @ A3 | | | | | | | |
| 0 | 0 3 6 9 Revision | | | | | | | |



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|--|---|--|--|-------------------|------------|-----------|--|--|--|------------------------|
| Comply with relevant Australian Standards for materials and construction practice. All drawn information should be sufficient for a reasonably competent and experienced builder to understand the design intent. Should this be not the case, the Client should be informed immediately for clarification. Some elements shown | fabrication of any components. Do not scale drawings - Any discrepancies discovered shall immediately be referred to the Client for Carification. Copyright remains with the JKMarchitects. The Client is licensed to use the documents and drawings to produce the project and site for which they were | E SITE BOUNDARY EXETING SMACOW ADDITIONAL SMACOWS (OUTSIDE SITE BO | V | C D E | | For Infor | JKMarchitects Pty Ltd | | Project Address 3 Ayr Street, Ashbury NSW | Sheet Name Shadow |
| In this drawing may be subject to further advice from consultants/sub-consultants other than the architect. It is the responsibility of the consultants/sub- consultants/builder, and not the architect, to ensure that the design intent is met satisfactorily. | intended, provided that the JKMarchitects has completed the extent of works for which they were commissioned, and all fees due to the JKMarchitects has been paid. | MDR METALDECK ROORING BWK BRICKWORK (BAGGED) | TMB TIMBER PICKET FENCE MC METAL CLARDING LIVR LOUVRE DP DOWNPIPE | | | | Suite 6.13 / 55 Miller Street, Pyrmont, NSW 2009. ABN 98 651 373 483 Nominated Architect Tai Kei Keith Ma | NSW 9247 | 2193 | Drawing no. DA05.21 |

DRAFT DESIGN INTENT DRAWINGS

| | Status Development Application | | | | |
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| w Diagrams | Scale 1: 300 @ A3 | | | | |
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| Disclaimer: | | Legend | | Revisio | n Date | Description | Architect | Client. | Project Name. | Project No. |
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| Comply with relevant Australian Standards for materials and construction practice. All drawn information should be sufficient for a reasonably competent and | fabrication of any components. Do not scale drawings - Any discrepancies discovered shall immediately be referred to the Client for clarification. | GFA-GROSS FLOOR AREA | U | c | 16.11.2022 De | velopment Application | architects | | Project Address | Sheet Name |
| experienced builder to understand the design intent. Should this be not the case, | Copyright remains with the JKMarchitects. The Client is licensed to use the | DEMOLITION | | | | | | | 3 Ayr Street, Ashbury NSW | GFA Are |
| the Client should be informed immediately for clarification. Some elements shown in this drawing may be subject to further advice from consultants/sub-consultants | documents and drawings to produce the project and site for which they were intended, provided that the JKMarchitects has completed the extent of works for | EXISTING CONSTRUCTION PROPOSED CONSTRUCTION | | | | | JKMarchitects Pty Ltd Suite 6.13 / 55 Miller Street, | | 2193 | Drawing no. |
| other than the architect. It is the responsibility of the consultants/sub- | which they were commissioned, and all fees due to the JKMarchitects has been | MDR METAL DECK ROOFING | THE TIMER PICKET FENCE | | | | Pyrmont, NSW 2009. | | =.)) | |
| consultants/builder, and not the architect, to ensure that the design intent is met | | BINK FACE BRICKINGRK GU GUTTER | MC METAL CLADDING | | | | ABN 98 651 373 483 | | | DA05.30 |
| satisfactorily. | | PLB PLANTER BED | DP DOWNPIPE | | | | Nominated Architect Tai Kei Keith Ma | a NSW 9247 | | |

| | Status Development Application | | | | |
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| ea Plan | Scale 1: 200 @ A3 | | | | |
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MC METAL CLADDING BWK SACE BRICKWORK

JKMarchitects Pty Ltd Suite 6.13 / 55 Miller Street, Pyrmont, NSW 2009. ABN 98 651 373 483 Nominated Architect Tai Kei Keith Ma NSW 9247

Project No. 2128 Sheet Name Area Pla 2193 Drawing no. DA05.35

| | Status Development Application | | | | |
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| ans | ^{Scale} 1: 200 @ A3 | | | | |
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BWK-01 Recycled Brick



BWK-02 Existing Brick Austral Westminster or similar



MR

Colorbond roof cladding Lysaught longline 305 or similar. Colour: Jasper Colorbond or similar



CP

Concrete Paving



тмв

Legend

Timber Batten / Cladding Finish Colour/Species: Spotted Gum or similar



ΤF

Timber Framed Windows (New only) Colour/Species: Spotted Gum or similar

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 Project Name.
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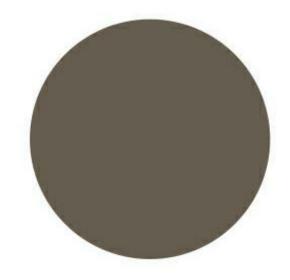
 Ashbury House
 2128

 Project Address
 Sheet Name

 3 Ayr Street, Ashbury NSW
 Materials

 2193
 Drawing no.

 DA05.40



MF

Painted or Powdercoated Metal frame finish Colour: Jasper Colorbond or similar



SC

Operable Screens Colour/Species: Spotted Gum or similar

| | Status Development Application | | | |
|----------------|-----------------------------------|---------------|--|--|
| s and Finishes | | | | |
| , | | Revision A | | |