

3 AYR STREET, ASHBURY



BWK	- Brickwork
CON	- Concrete
DP	- Downpipe
GL	- Glass
GU	- Gutter
MC	- Metal Cladding
MR	- Metal Roofing
PT	- Painted Finish
TMB	- Timber Finish
SC	- Operable Screen

Proposed Area	
Level	Area
Ground Plan	179.7 m ²
	179.7 m ²
Site Area	564.37m ²
Proposed GFA	179.7m² (0.32:1)
Permissible GFA	310.4m² (0.55:1)

Sheet List		
Sheet Number	Sheet Name	Current Revision
DA00.00	Cover Sheet	E
DA00.10	BASIX Compliance Table	C
DA00.20	Specifications	C
DA00.30	Site Analysis	C
DA00.40	Site Plan	D
DA01.00	Existing Ground Floor Plan	D
DA01.10	Existing Roof Plan	D
DA02.00	Proposed Ground Floor Plan	H
DA02.20	Proposed Roof Plan	E
DA03.00	Proposed Elevations	F
DA03.10	Proposed Elevations	F
DA04.00	Proposed Sections	F
DA05.20	Shadow Diagrams	E
DA05.21	Shadow Diagrams	E
DA05.30	GFA Area Plan	C
DA05.35	Area Plans	B
DA05.40	Materials and Finishes	A

DESIGN INTENT DRAWINGS
NOT FOR CONSTRUCTION

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			<p>Project Address</p> <p>3 Ayr Street, Ashbury NSW 2193</p>		<p>Sheet Name</p> <p>Cover Sheet</p>	<p>Scale</p> <p>@ A3</p>			
					<p>Drawing no.</p> <p>DA00.00</p>				

BASIX COMPLIANCE TABLE

POOL AND SPA

Rainwater Tank:

Rainwater tank of at least 1109 litres on the site must be installed. The rainwater tank must meet, and be installed in accordance with the requirements of all applicable regulatory authorities.

The swimming pool must be outdoors and must not have a capacity greater than 31 kilolitres.

CONSTRUCTION

Insulation Requirements:

New or altered construction (floors(s), walls and ceiling/roofs) to be constructed in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
external wall: cavity brick	nil	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.76 (up), roof: foil/sarking	light (solar absorptance < 0.475)

Glazing Requirements

Windows and Glazed Doors

Windows, glazed doors and shading devices to be installed in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

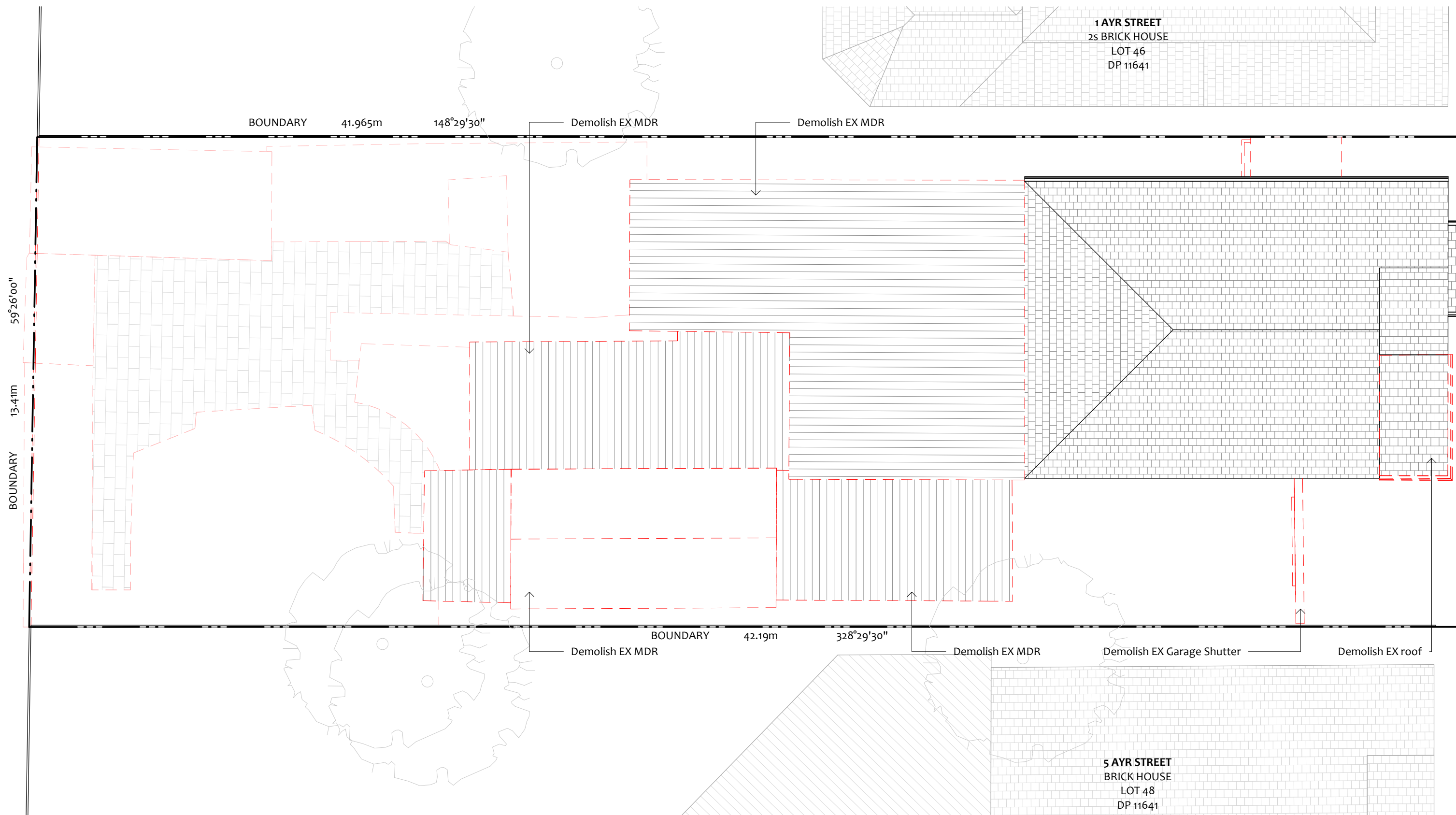
For projects described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500mm above the head of the window or glazed door and no more than 2400mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below:

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W.01	SE	2.5	0	0	projection/height above sill ratio >=0.36	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.02	SE	3.3	0	0	projection/height above sill ratio	timber or uPVC, single clear, (or U-value:
W.03a	SW	2.2	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.04	NW	3.6	0	0	external louvre/blind (fixed)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.06	SW	4.4	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.07	SW	19	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.08	SW	9.3	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.09	NE	0.5	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.10	NE	3.7	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.11	NE	3.8	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.12	NE	2.3	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.13	NE	1.2	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.14	NE	1.5	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.15	NW	1.7	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.17	NW	1.5	0	0	projection/height above sill ratio	standard aluminium, single pyrolytic low-e,
W.18	NW	1.5	0	0	projection/height above sill ratio >=0.36	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W.19	NW	1.5	0	0	projection/height above sill ratio >=0.36	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W.03	SE	2.5	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.05	SW	1.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W.07a	NW	8.5	0	0	eave/verandah/ pergola/ balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

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Legend

[] [] []
[]
[X] [X] [X]
[]
[]

MCD
BMY
GU
PLB



Revision	Date	Description
A	07.05.2022	For Information
B	05.07.2022	For Information
C	15.07.2022	For Information
D	16.11.2022	Development Application

Architect
jkm
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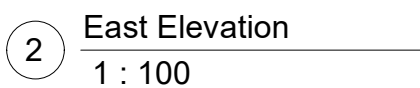
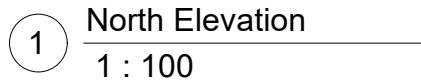
Namings Architect Tai Kai Koon

Client.
Peter Giurissevich

Project Name.	Ashbury House
Project Address	3 Ayr Street, Ashbury NSW 2193

Project No.	2128
Sheet Name	Existing Roof Plan
Drawing no.	DA01.10

Status	Development Application		
Scale	1: 100 @ A3		
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	mm		
			Revision D



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LINE SHOWN

AREA SHOWN

MANHOLE

STRUCTURE CONSTRUCTION

NON-STRUCTURE CONSTRUCTION

IRON METAL DECK ROOFING

IRON METAL ROOFING

CEILING

FLAT PLASTER BOLD

TRIM

IRON METAL PICKET FENCE

IRON METAL CLADDING

IRON CLADDING

OP DOWNPIPE

Revision

Date

Description

A

07.05.2022

For Information

B

14.06.2022

For Information

C

05.07.2022

For Information

D

15.07.2022

For Information

E

05.08.2022

For Information

F

16.11.2022

Development Application

jkmarchitects

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ABN 98 651 373 483

Nominated Architect

Tai Kei Keith Ma

NSW 9247

Client

Peter Giurissevich

Project Name

Ashbury House

Project Address

3 AyR Street, Ashbury NSW 2193

Project No.

2128

Sheet Name

Proposed Elevations

Drawing no.

DA03.00

Status

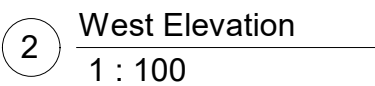
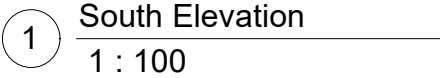
Development Application

Scale

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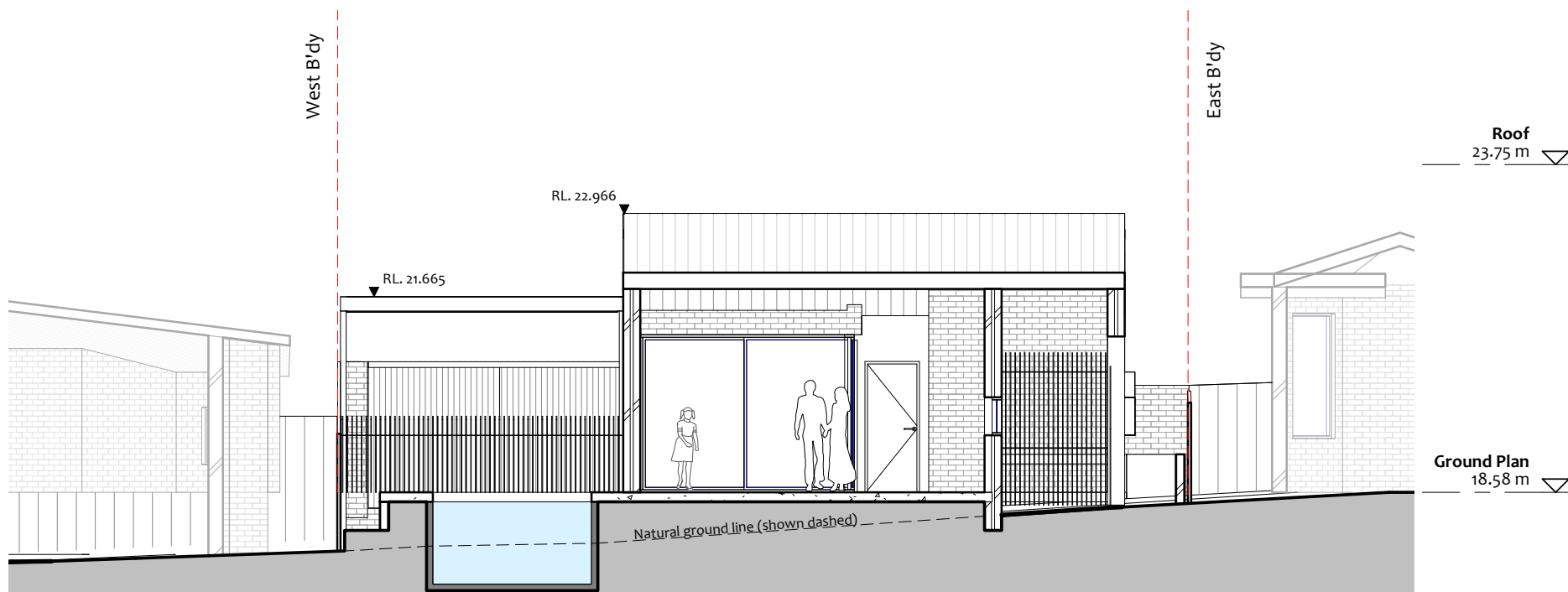
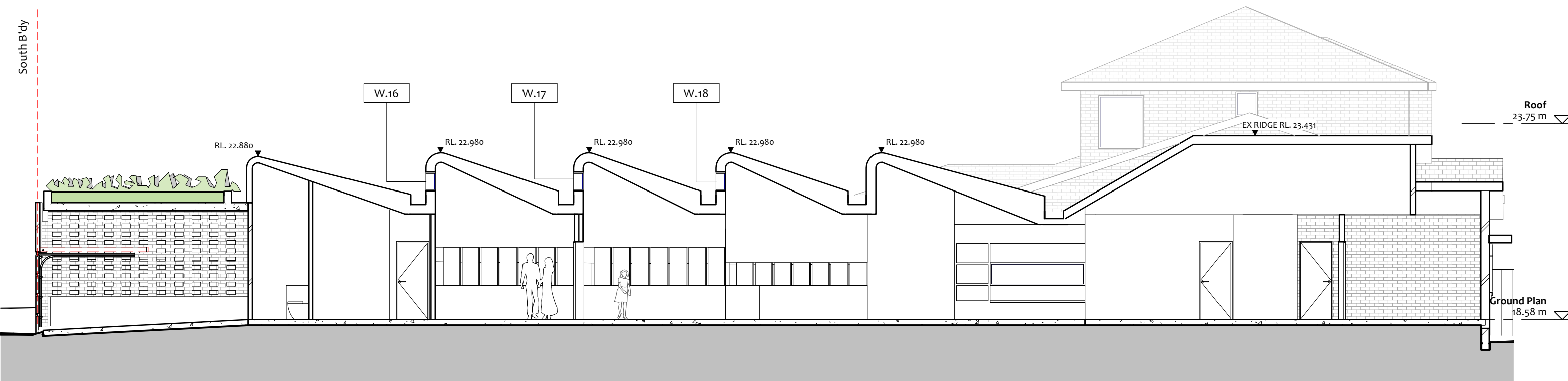
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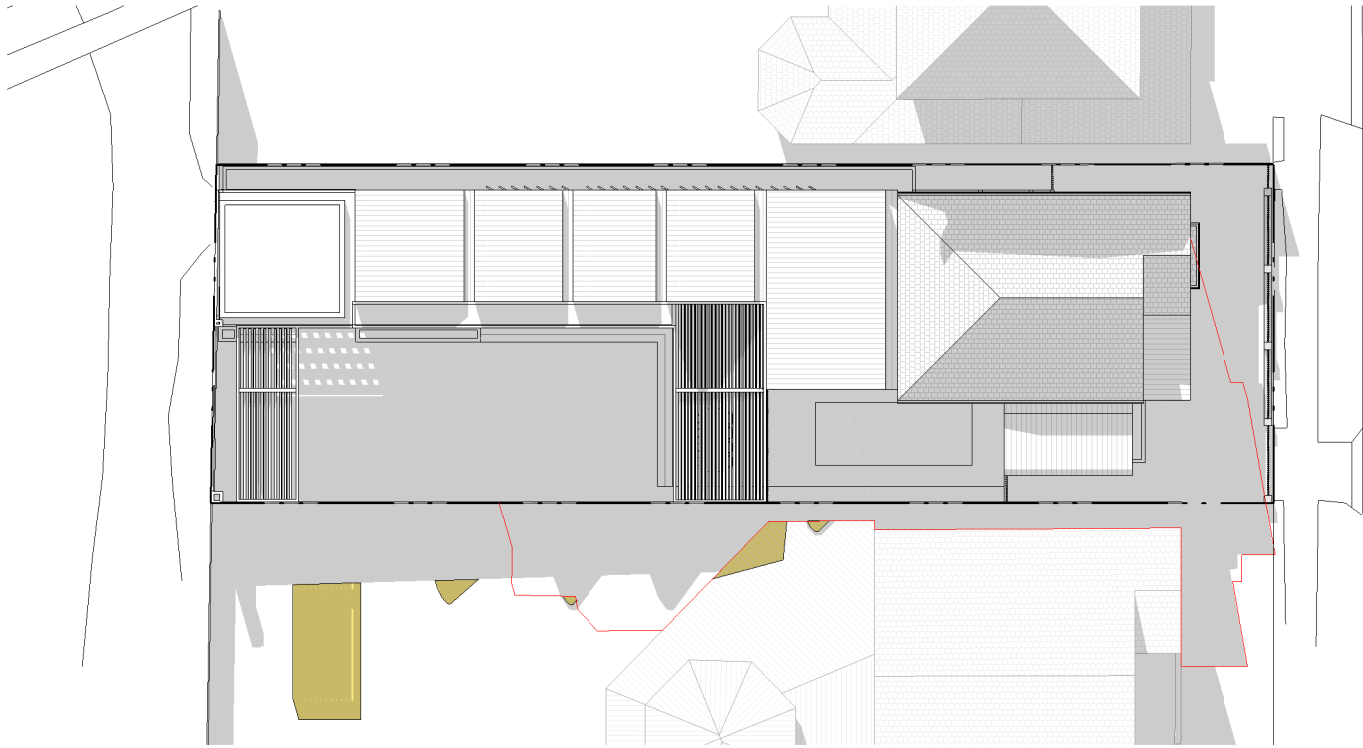


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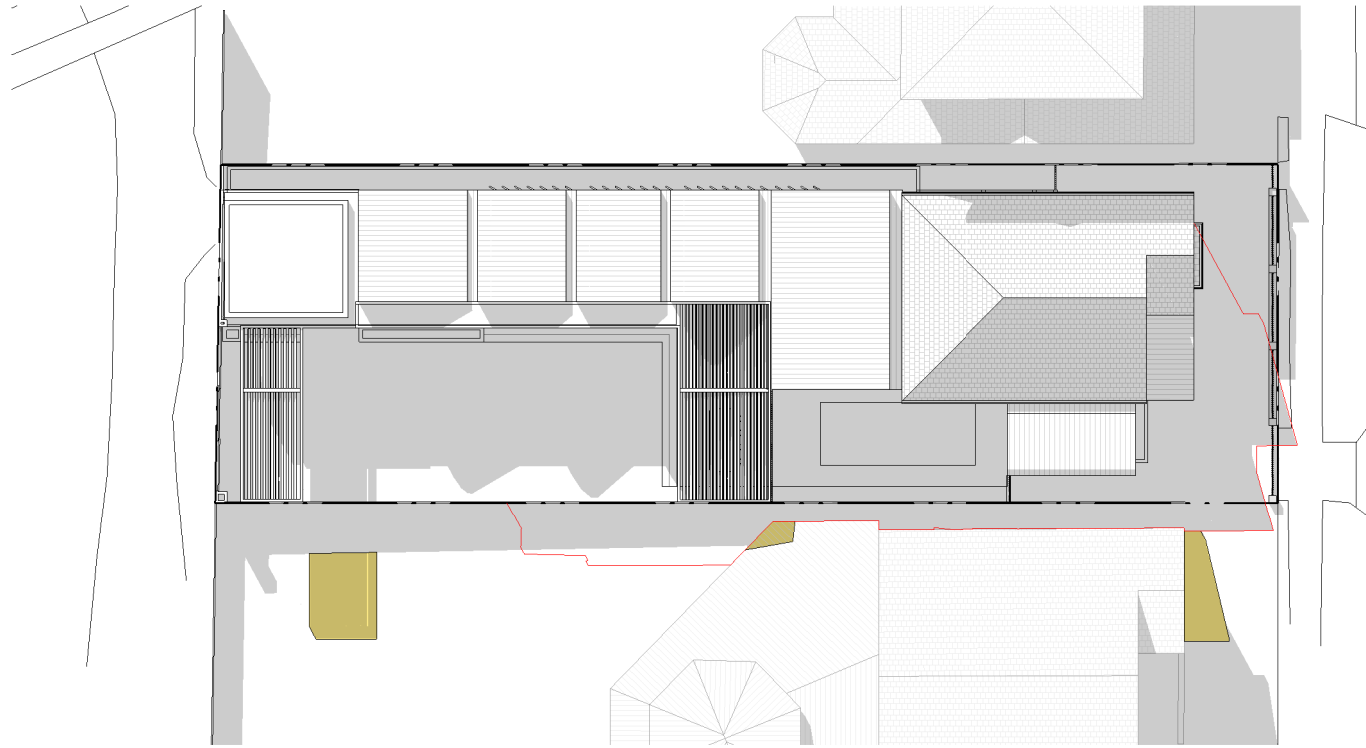
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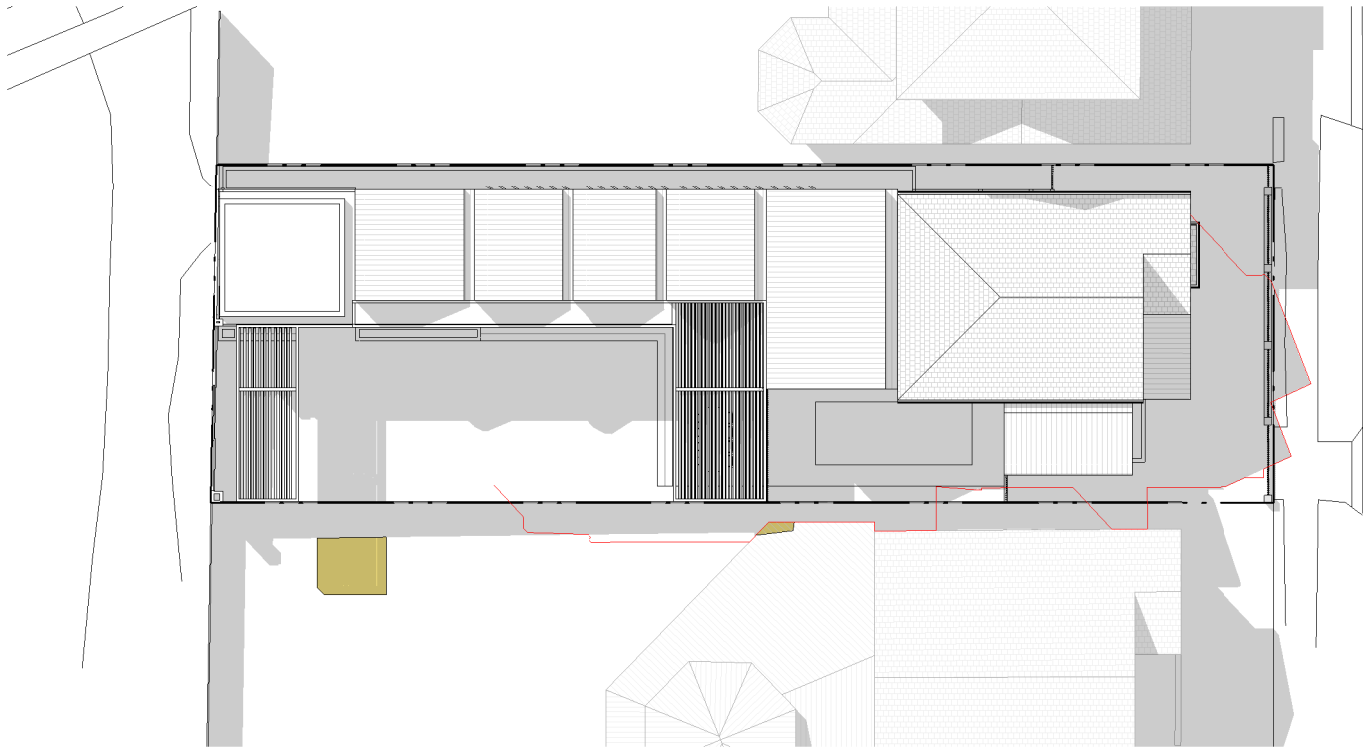
DESIGN INTENT DRAWINGS
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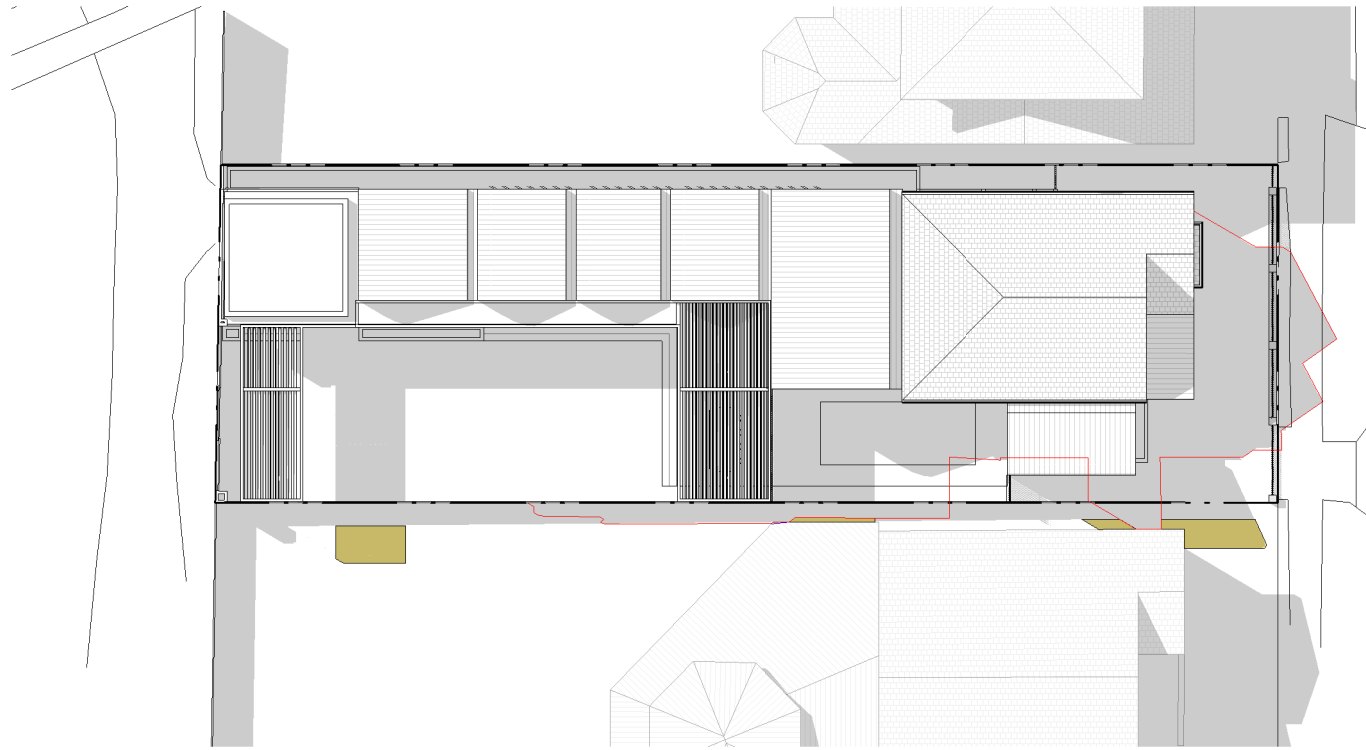
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2 21st June 10am
1 : 300



3 21st June 11am
1 : 300



4 21st June 12pm
1 : 300

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Legend

--- SITE BOUNDARY
--- EXISTING BOUNDARY
--- PROPOSED BOUNDARY (OUTSIDE SITE BOUNDARY)

--- METAL DECK ROOFING
--- METAL DECK ROOFING (SHADES)
--- OUTSIDE
--- TO: TIMBER DECK

--- TIMBER FENCE
--- METAL CLADDING
--- LOUVER
--- DOWNPIPE

Revision	Date	Description
A	07.05.2022	For Information
B	14.06.2022	For Information
C	05.07.2022	For Information
D	15.07.2022	For Information
E	16.11.2022	Development Application

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ABN 98 651 373 483
Nominated Architect Tai Kei Keith Ma NSW 9247

Client.
Peter Giurissevich

Project Name.
Ashbury House

Project Address
3 Ayr Street, Ashbury NSW
2193

Project No.
2128

Sheet Name
Shadow Diagrams

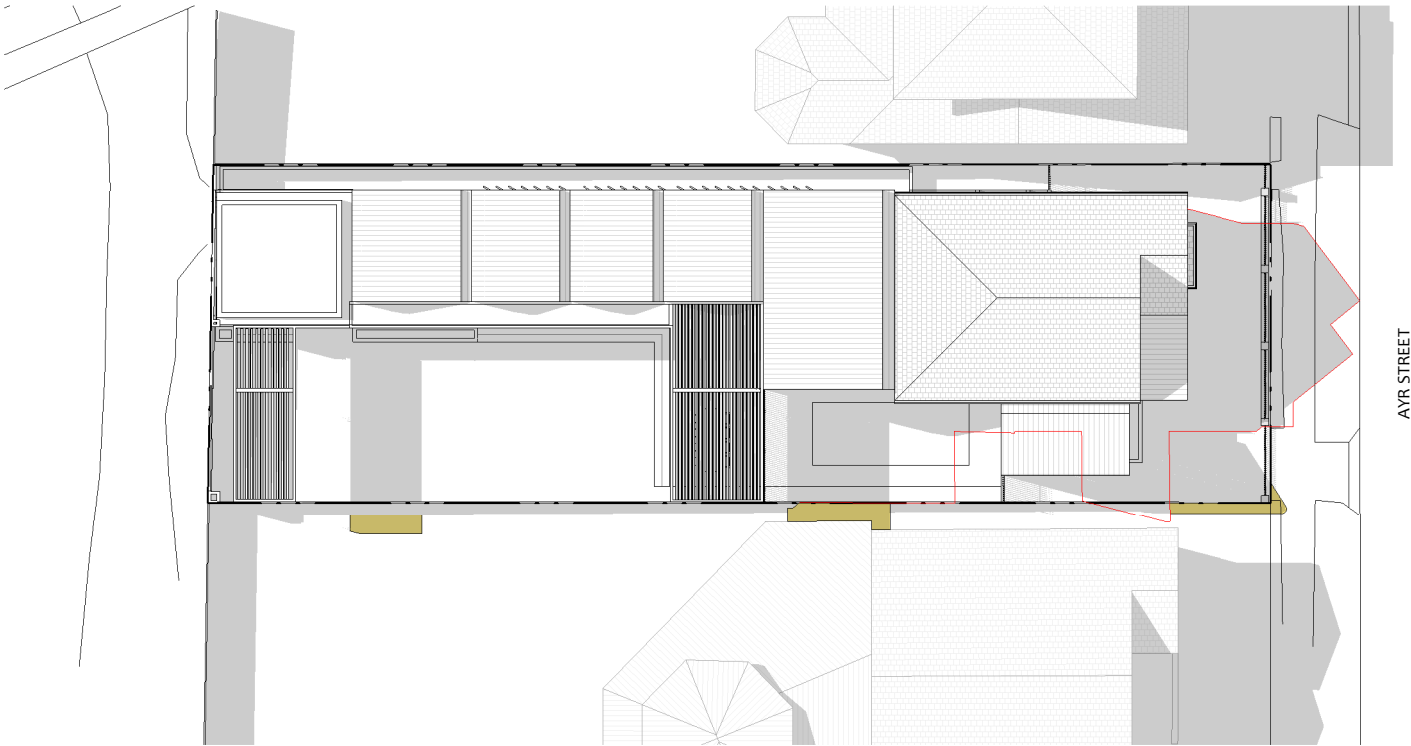
Drawing no.
DA05.20

Status
Development Application

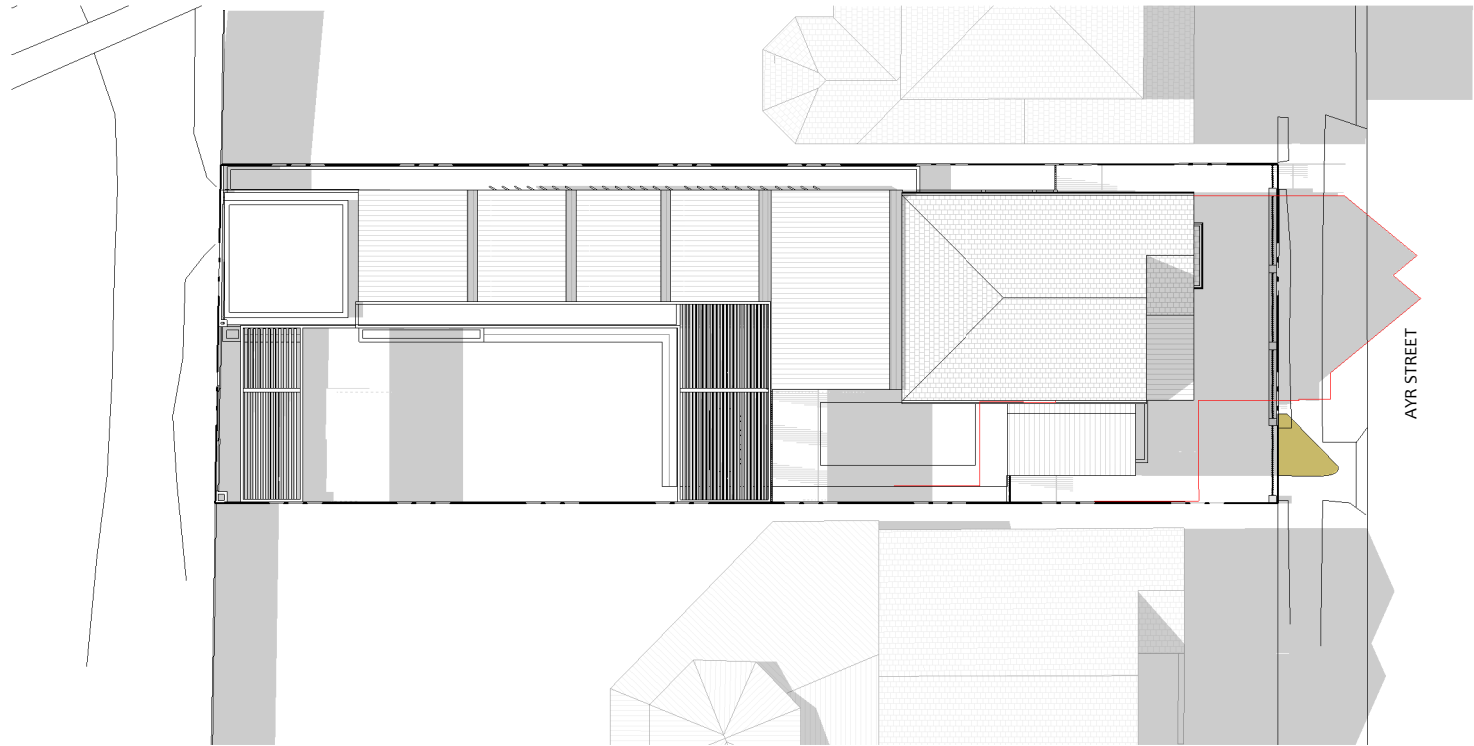
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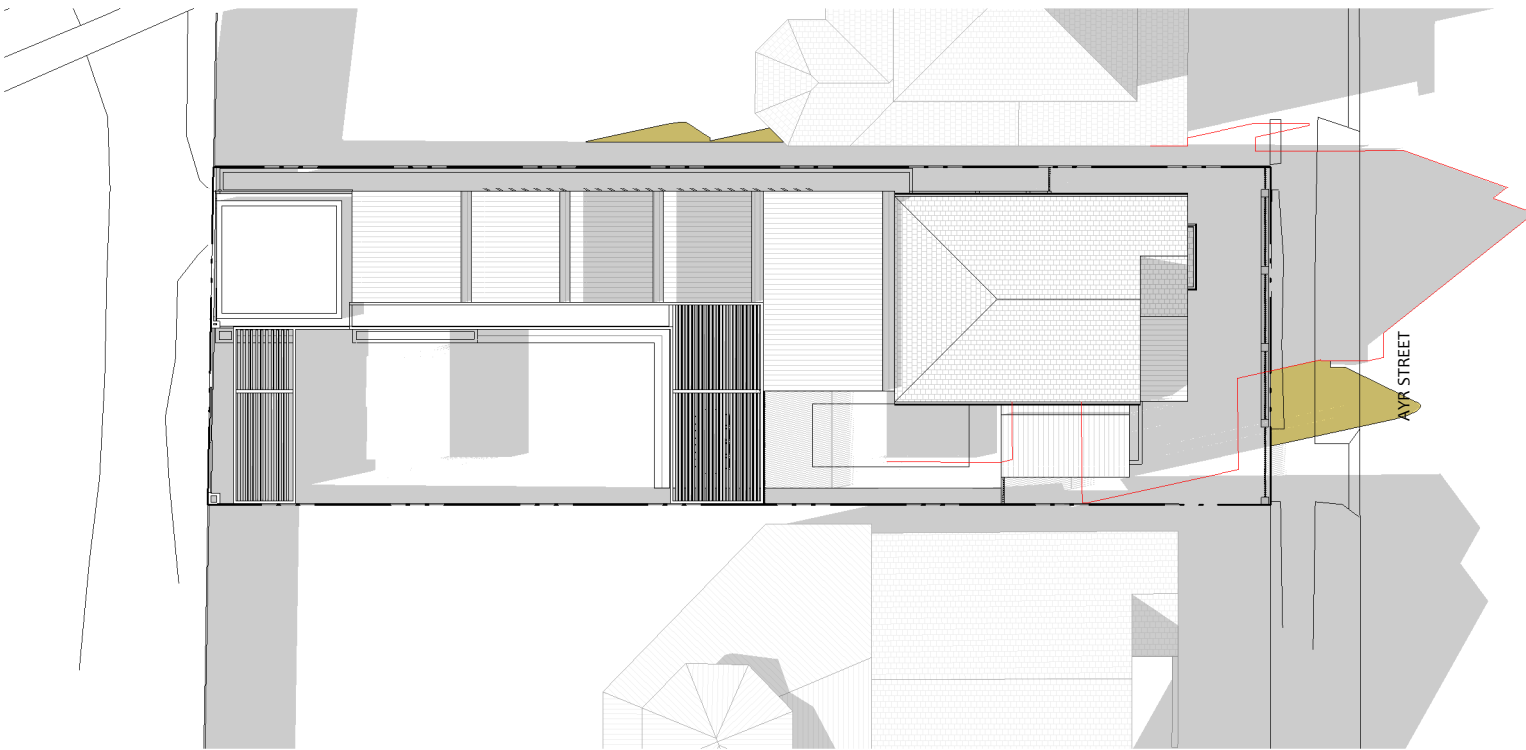
Revision



1 21st June 1pm
1 : 300



2 21st June 2pm
1 : 300



3 21st June 3pm
1 : 300

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Legend

- SITE BOUNDARY
- - - EXISTING BOUNDARY
- ADJUTANT BOUNDARY (OUTSIDE SITE BOUNDARY)
- METAL DECK ROOFING
- METAL ROOFING (SHADES)
- CU - OUTER
- TO - TIMBER DECK
- TIMBER PICKET FENCE
- METAL CLADDING
- LVR - LOUVER
- DOWNPIPE



Revision	Date	Description
A	07.05.2022	For Information
B	14.06.2022	For Information
C	05.07.2022	For Information
D	15.07.2022	For Information
E	16.11.2022	Development Application

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Nominated Architect Tai Kei Keith Ma NSW 9247

Client.

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Project Name.

Ashbury House

Project Address

3 Ayr Street, Ashbury NSW
2193

Project No.

2128

Sheet Name

Shadow Diagrams

Drawing no.

DA05.21

Status

Development Application

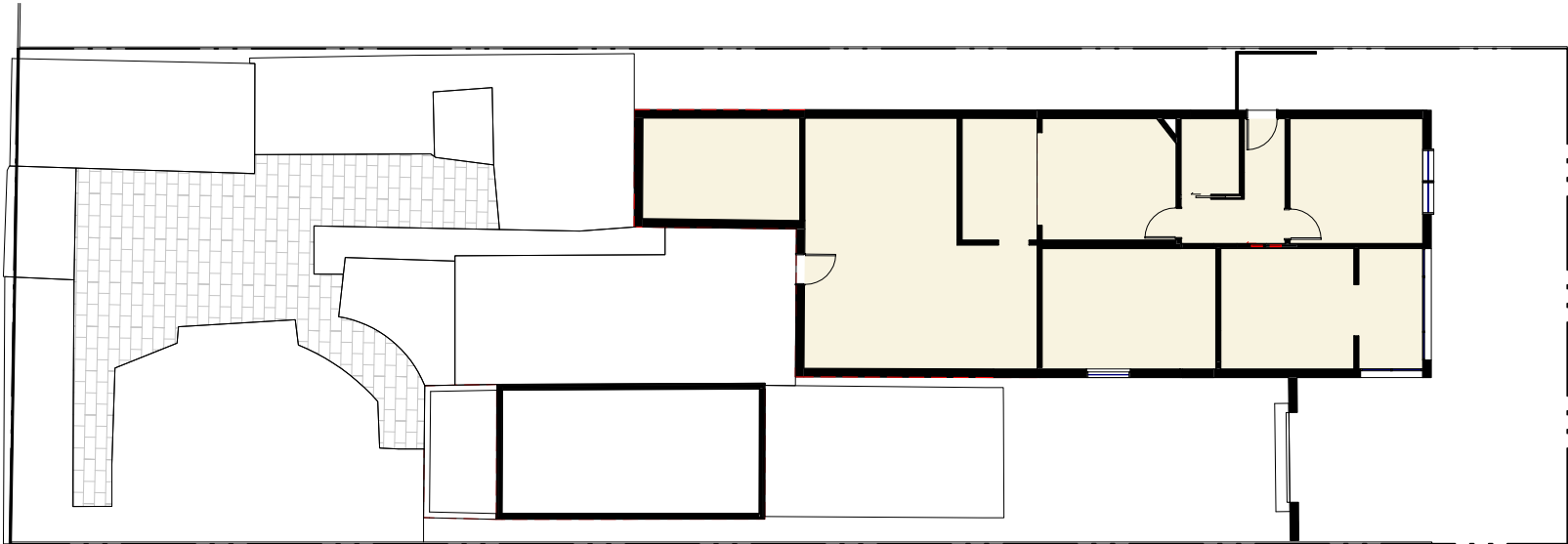
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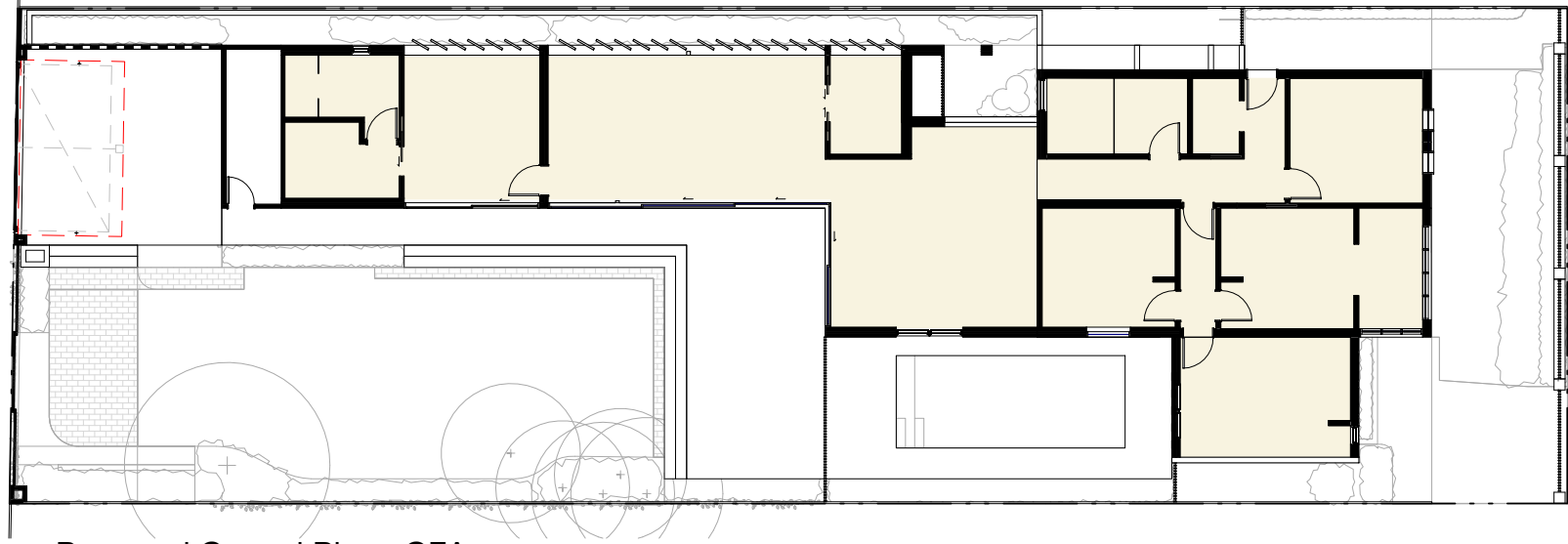
Revision

E



1 Existing Ground Plan - GFA
1 : 200

Existing Area	
Level	Area
Ground Plan	125.2 m ²
	125.2 m ²



2 Proposed Ground Plan - GFA
1 : 200

Proposed Area	
Level	Area
Ground Plan	179.7 m ²
	179.7 m ²

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Legend

Site Boundary

Site - Existing Colour Area

Demolition

Existing Construction

Proposed Construction

Roof - Metal/Asph Roofing

Roof - Asph/Brick Roofing

Cut - Cutters

Fill - Filler Bed

Wall - Timber Post Fence

Wall - Metal Cladding

Wall - Louvre

Down - Downpipe

Architect

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Pymont, NSW 2009.

ABN 98 651 373 483

Nominated Architect

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Project Name.

Ashbury House

Project Address

3 Ayr Street, Ashbury NSW 2193

Project No.

2128

Sheet Name

GFA Area Plan

Drawing no.

DA05.30

Status

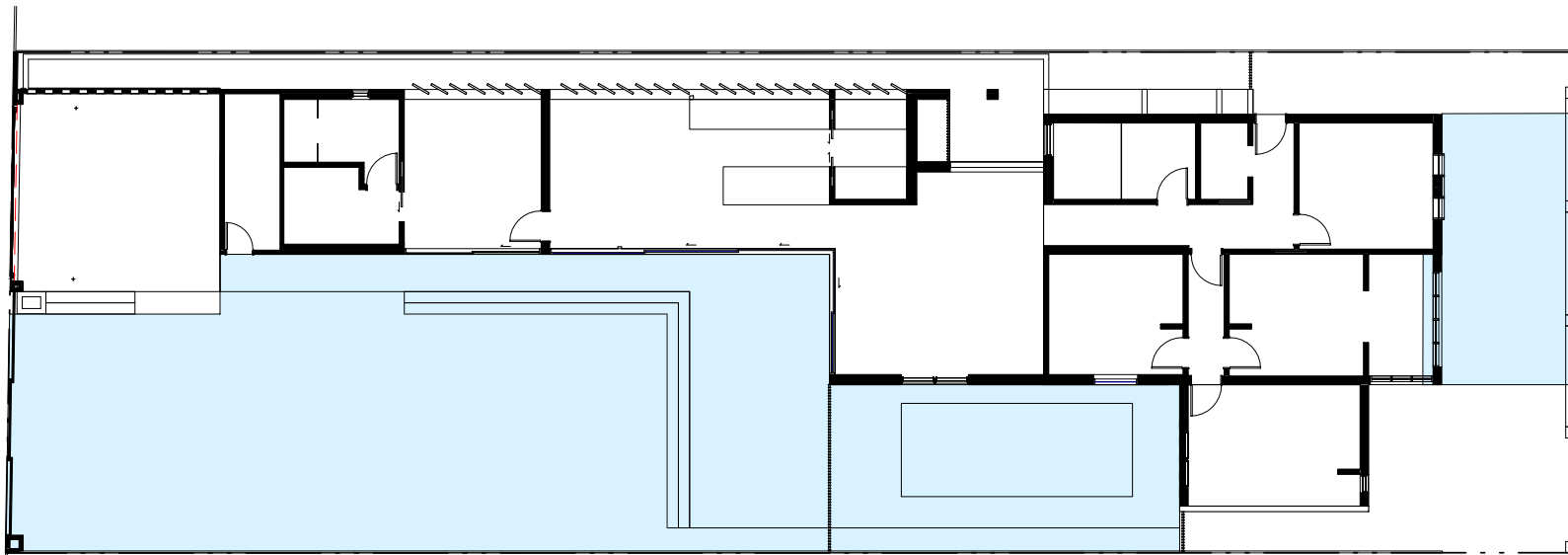
Development Application

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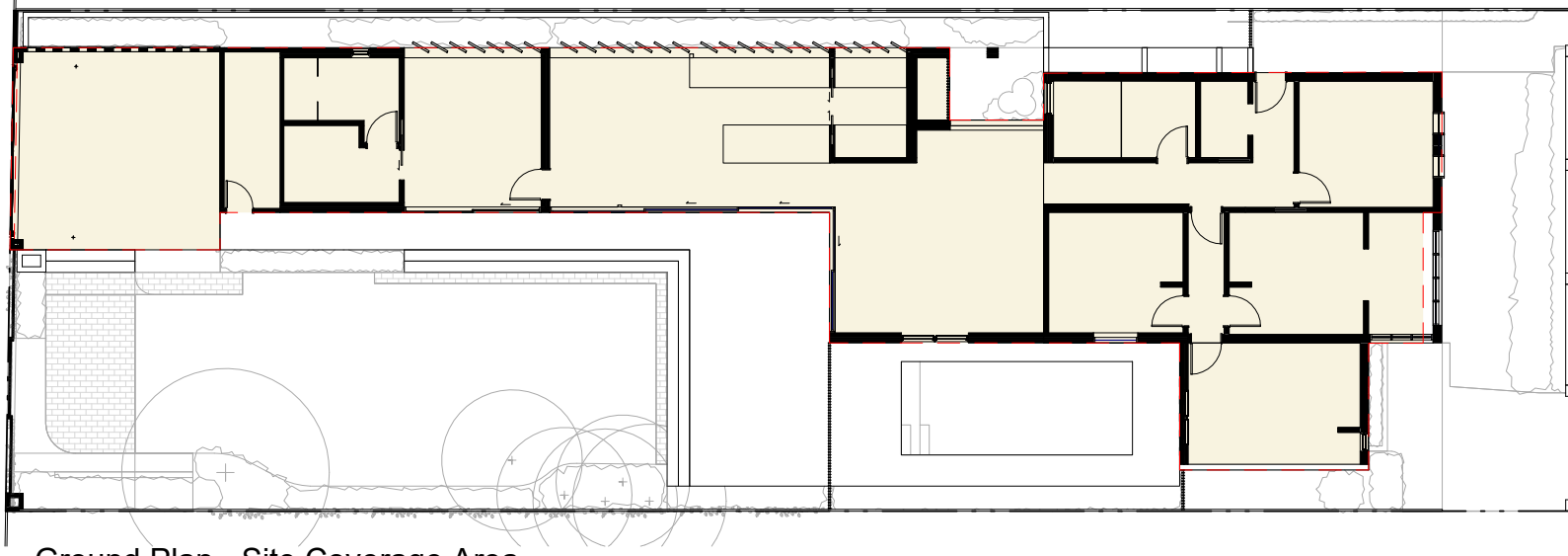
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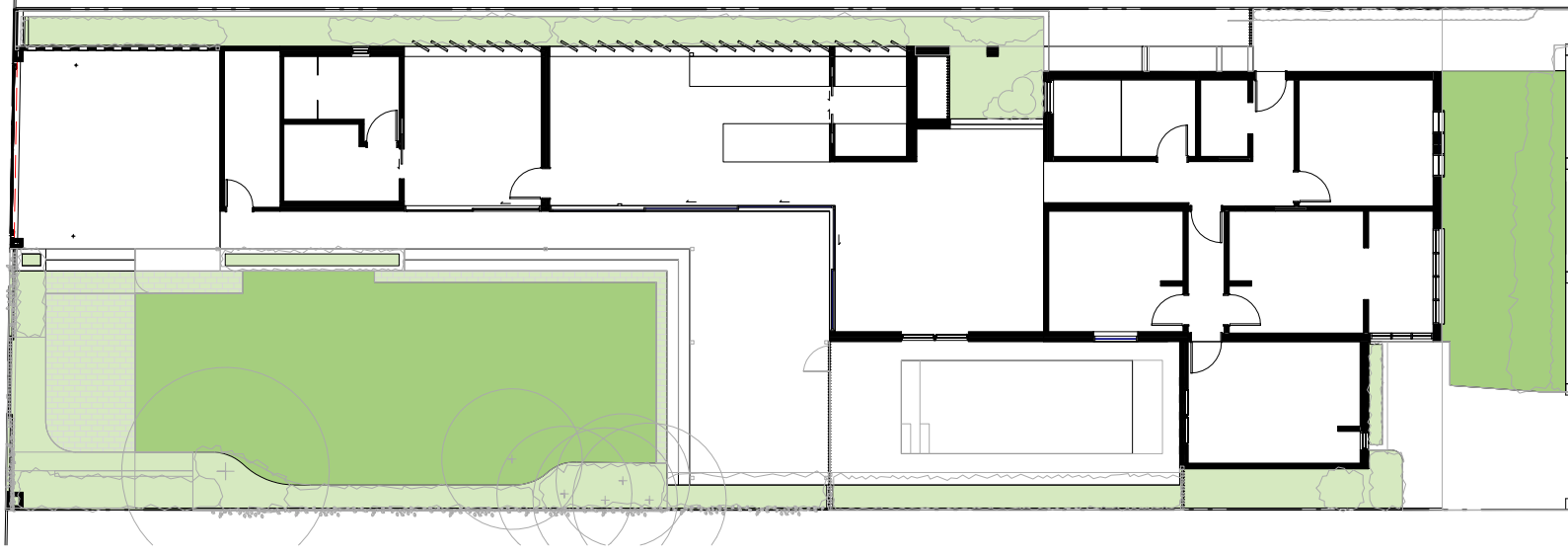
Revision C



1 Ground Plan - Open Area
1 : 200



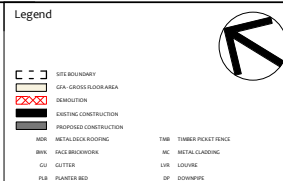
2 Ground Plan - Site Coverage Area
1 : 200



3 Ground Plan - Landscape Area
1 : 200

Disclaimer:
Information shown on this drawing should be read in conjunction with the specification and BASIX certificate where applicable. Comply with relevant authorities requirement. Comply with Building Code of Australia requirements. Comply with relevant Australian Standards for materials and construction practice. All drawn information should be sufficient for a reasonably competent and experienced builder to understand the design intent. Should this be not the case, the Client should be informed immediately for clarification. Some elements shown in this drawing may be subject to further advice from consultants/sub-consultants other than the architect. It is the responsibility of the consultants/sub-consultants/builder, and not the architect, to ensure that the design intent is met satisfactorily.

Check all dimensions, site conditions and RL's against survey prior to commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and or the fabrication of any components. Do not scale drawings - Any discrepancies discovered shall immediately be referred to the Client for clarification. Copyright remains with the JKMArchitects. The Client is licensed to use the documents and drawings to produce the project and site for which they were intended, provided that the JKMArchitects has completed the extent of works for which they were commissioned, and all fees due to the JKMArchitects has been paid.



Revision	Date	Description
A	25.07.2022	For Information
B	16.11.2022	Development Application


Architect **jkm architects** Client. **Pete**
JKMarchitects Pty Ltd
 Suite 6.13 / 55 Miller Street,
 Pyrmont, NSW 2009.
 ABN 98 651 373 483

Nominated Architect **Tai Kei Keith Ma** NSW 9242

Client.
Peter Giurissevich

Project Name.	Ashbury House
Project Address	3 Ayr Street, Ashbury NSW 2193

Project No.	2128
Sheet Name	Area Plans
Drawing no.	DA05.35

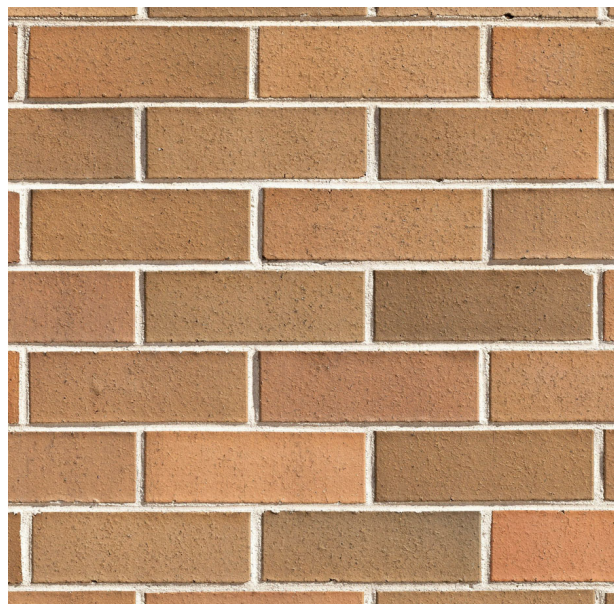
Status	Development Application		
Scale	1: 200 @ A3 		

DESIGN INTENT DRAWINGS
NOT FOR CONSTRUCTION



BWK-01

Recycled Brick



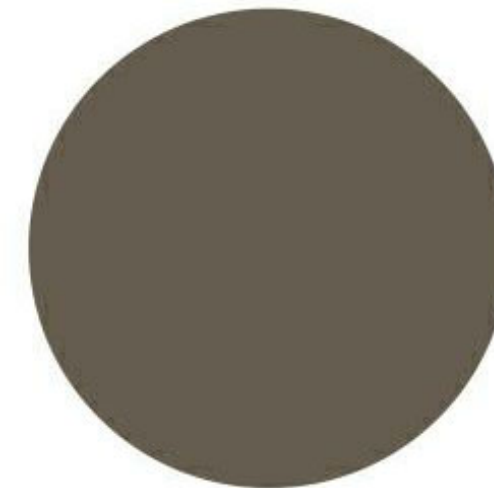
BWK-02

Existing Brick
Austral Westminster or similar



MR

Colorbond roof cladding
Lysaught longline 305 or similar.
Colour: Jasper Colorbond or similar



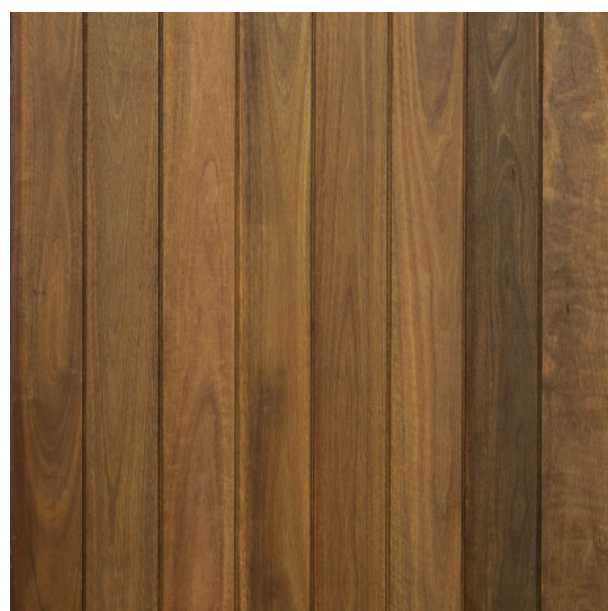
MF

Painted or Powdercoated Metal frame finish
Colour: Jasper Colorbond or similar



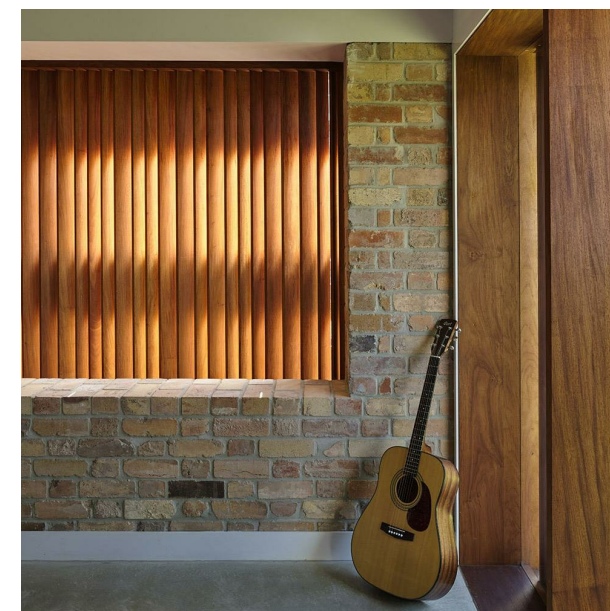
CP

Concrete Paving



TMB

Timber Batten / Cladding Finish
Colour/Species: Spotted Gum or similar



TF

Timber Framed Windows (New only)
Colour/Species: Spotted Gum or similar



SC

Operable Screens
Colour/Species: Spotted Gum or similar

DESIGN INTENT DRAWINGS
NOT FOR CONSTRUCTION

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						<div>Project Address 3 Ayr Street, Ashbury NSW 2193</div>	<div>Sheet Name Materials and Finishes</div>	<div>Scale @ A3</div>
							<div>Drawing no. DA0540</div>	<div>Revision A</div>